

RIVERVIEW PLANNING ADVISORY COMMITTEE

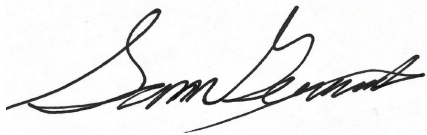
STAFF REPORT

Subject : Conditional use with variance for two, 18 unit multiple unit dwellings.

File number: 25-1258

Meeting Date: Wednesday, September 10, 2025

From :



Sam Gerrand
Planner

Reviewed by :



Lori Bickford
Planning Manager/Planner

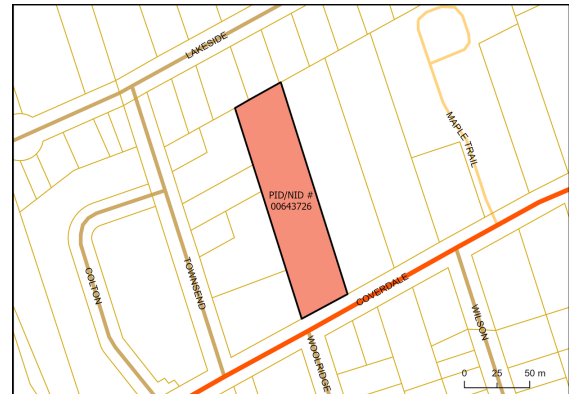
GENERAL INFORMATION

Applicant/: Josh Lirette AURA Construction


Landowner : K2J Holdings Inc.

Proposal:

The applicant proposes two, 18 unit multiple unit dwellings with a variance to waive the requirement for a public entrance facing the street.



Property Location Map

 Subject Property



SITE INFORMATION

Location: 775 Coverdale Rd, Town of Riverview

PID: 00643726

Lot Size: 6669m²

Current Use: Existing single unit dwelling

Zoning: SC

Future Land

Use:

Surrounding

Use & Zoning: The property is abuts SC and R2 zoning. Nearby are areas of multiunit residential, commercial and lower density residential development.

Municipal

Servicing: Municipal services are available along Coverdale Road.

Access/Egress: Access is provided by Coverdale Road.

Municipal Plan Policies

Statements of Public Interest Regulation

Settlement Patterns (SP) 2 Promote a range of housing options such as size, type, density, and design.

Settlement Patterns (SP) 5 Promote and prioritize development in areas of communities with existing or planned public infrastructure and services

Municipal Plan By-law No. 300-33

5.3 Principles for Residential Development

Principle 1: A variety of housing types will be provided

A variety of housing types is required in order to accommodate all residents of Riverview, at all stages of life and in different family and economic situations. The mixing of various types and designs of housing within a development and on each street while considering the context (see Principle 2) is encouraged.

Principle 2: Development should respect its context

Context sensitive residential development that complements surrounding homes and preserves or enhances neighbourhood integrity will be encouraged. In the designing of the various types of residential buildings, the developer shall consider the relationship (height, size, bulk) between each building within a proposed development and to existing adjacent buildings. Factors to be considered include:

- (a) designing subdivisions and new developments to make more efficient use of land, infrastructure, and services;
- (b) preservation of natural features (landform, water courses, mature woods, etc.), and heritage features that help define the character of Riverview.
- (c) provision of buffers between potential conflicting types of development (e.g. multi-floor multi-unit residential and single family dwellings, big box retail and residential, etc.)

- (d) height of development;
- (e) limiting views from second and third floor units into neighbouring single family yards (through use of landscaped treed buffers, angle of building, limited windows on sides of buildings facing neighbours, and prohibiting staircases on exterior of multiple unit buildings);
- (f) size and articulation of facades;
- (g) massing including size of the building, its footprint and the articulation of building form (for example, the use of peaked roofs);
- (h) the design of lower floors of multi-unit residential buildings in scale with the pedestrian environment;
- (i) the use of traditional materials
- (j) the use of back lanes or rear-lot parking areas to enable buildings to be close to the street;
- (k) for buildings on corners, windows and/or doors that address both street frontages and that are designed to the same quality; and
- (l) the layout and design of service areas, for example, waste disposal bins should be screened from the public street and neighbours.

Zoning Bylaw and or Subdivision By-law Regulation

Zoning By-law No. 300-7

30(2) Despite subsection (1), except for the R1, R1-C and R2 Zone, the Planning Advisory Committee may permit, subject to any terms and conditions, more than one main building on a lot.

91(2) Screening shall be provided and maintained on a lot containing a multiple unit dwelling, consisting of the existing vegetation or structures if sufficient to screen the lot from adjacent properties, but when the existing vegetation or structures are insufficient, the screening shall consist of:

- (a) if the multiple unit dwelling lot abuts a R1 Zone, R1-C Zone or R2 Zone, a six metre wide landscaping buffer, consisting of:
 - (i) a minimum of one low lying shrub for every 15 square metres of landscaping area;
 - (ii) trees with a minimum diameter of 50 millimetre and a minimum branching height of two metres at the time of planting and placed every five metres across the width of the landscaping area; and
 - (iii) a two metre high decorative solid fence secured with 15.24 centimetre x 15.24 centimetre posts , no more than 2.4 metres apart, along or parallel to the common property line;

91(4) A multiple unit dwelling may be permitted if:

- (a) its massing including size of the building, its footprint and the articulation of building form (for example, the use of peaked roofs) reflects the conditions of neighbouring buildings while avoiding excessive repetition of building design and color;
- (b) no more than 35% of the lot area is devoted to parking spaces and parking aisles
- (c) the façade is designed with jogs and recesses of not less than 0.6 metres to segment the façade at least every nine metres along the length of the building;

- (d) the façade, from the established grade to the top of the first floor, is finished with traditional materials that includes at least ten percent brick or masonry;
- (e) the design of lower floors of multi-unit residential buildings shall include appropriate fenestration, entrance and other features so that they are in scale with the pedestrian environment;
- (f) only a single row of parking is permitted in the front yard. In this case, a 2.0 metre (6'6") wide landscape strip between the property line and the edge of the parking lot, and between the edge of the parking lot and the building face are required. If the parking bay contains more than 5 spaces, planted islands shall be provided after every fifth stall as a minimum;
- (g) Despite 91(f), a multiple unit building design with garage access on the front façade is not required to have landscaping between the parking lot and the building face;
- (h) for buildings on corners, windows or doors must address both street frontages and shall be designed to the same quality;
- (i) there is at least one public entrance facing a street;**
- (j) service areas, including but not limited to waste disposal bins and public utility structures are screened from the street and abutting properties; and
- (k) views from the second and third floor units into neighbouring single unit dwelling yards are limited

104 A multiple unit dwelling is a conditional use in the Suburban Commercial (SC) zone

Internal Consultation & External Consultation

The application was discussed with the Development Review Committee (Planning, CAO/Clerk, Engineering, Economic Development, Parks, and Fire Department). No concerns were raised.

Discussion

The applicant is proposing a two, 18 unit multiple unit dwellings at 775 Coverdale Road (PID 00643726).

The lot is zoned Suburban Commercial (SC) and is at the western edge of a block of SC properties that line Coverdale Road and connect to the Town center. Nearby to the property is the Riverview Mall, numerous suburban commercial buildings (gas station, drive thru restaurant, a carwash), as well as similar multiunit residential buildings that have been recently developed along Coverdale Road. The lot is abutted by SC zoned lots on either side, with a strip of R2 zoned properties and lower density residential development abutting the property along the rear of the lot.

As the SC zone permits multiple unit dwellings as a conditional use, the application before the committee is not to debate whether or not the land use is appropriate at the subject property, but rather to allow the Planning Advisory Committee to evaluate projects on a case-by-case basis, ensure design standards are met, and impose any reasonable terms and conditions the Committee sees fit.

Additionally, there is a requirement in the zoning by-law for development with more than one main building on a lot to be subject to terms and conditions of the Committee. The intention of this additional approval is to ensure that adequate site design is provided in situations with multiple main uses, and to assure that key elements such as access, servicing, layout of drive aisles, and pedestrian access are addressed.

To ensure that multiple unit dwelling development is appropriate when abutting lower density residential development, the Riverview Zoning By-law sets out design standards to ensure that development respects its context. In particular, when a multiple unit dwelling abuts a R1, R1-C or R2 lot, as is the case in the current proposal, there is a requirement for a 6m landscaping buffer with a 2m tall decorative fence. This landscaping buffer with a fence is provided along the rear and side of the property meeting the requirements of the by-law and creating a separation between the R2 zoned properties and the proposed development. In addition, there is a height limit of 4 storeys (15m) for multiple unit dwellings abutting R2 properties. As the proposal is for 2 storey buildings, this requirement is also satisfied.

While all other requirements of the zoning by-law in terms of building design and lot requirements (e. g. setbacks, lot coverage, parking) are met, there is a requirement for the building to have a public entrance facing the street which is not satisfied in the proposed development and a variance is requested.

The intent of the public entrance requirement is generally to create more pedestrian friendly and active streetscapes by having doorways facing the street. While townhouses, single dwelling units or semi-detached units regularly have doorways facing the street, multiple unit dwellings can be developed with only a few main entrances at the side or rear of the building and have shared internal corridors to access the individual dwelling units. As doorways facing the street is not a guaranteed condition of multiple unit dwellings, the by-law requires that at least one of these entrances should face the street.

The two storey walk up style multiple unit dwellings proposed here is a relatively common form of housing in the Greater Moncton area, where each unit is directly accessible from the exterior of the building. On the facade of the building facing the street, four of the units have private entrances facing Coverdale Road, but there are no shared internal corridors or spaces within the building that would justify these entrances being public. Further, it does not seem that it is the intention of the Municipal Plan to limit the form of multiple unit dwellings, or require that multiple unit dwellings have shared internal space/corridors through the public entrance requirement. Instead, the Municipal Plan encourages a diversity of housing units to be available in the Town. For these reasons, the variance is considered to be reasonable, within the intent of the Municipal Plan, and desirable for the development of the property.

Public Notice

Public notices were sent to property owners with 60m of the subject property on September 23rd, 2025.

Legal Authority

Conditional uses

53(3) In prescribing the purposes for which land, buildings and structures in a zone may be used, a zoning by-law may: ...

(c) prescribe particular purposes ...

(i) in respect of which the advisory committee or regional service commission, subject to subsection (5), may impose terms and conditions, and

(ii) that may be prohibited by the advisory committee or regional service commission if compliance with the terms and conditions imposed under subparagraph (i) cannot reasonably be expected.

The Act also provides parameters for the PAC when imposing conditions:

53(4) Terms and conditions imposed under paragraph (3)(c) shall be limited to those considered necessary by the advisory committee or regional service commission to protect:

(a) properties within the zone or in abutting zones, or

(b) the health, safety and welfare of the general public.

The Act also provides authority of the PAC to grant variances to the Zoning By-law:

55(1) Subject to the terms and conditions it considers fit, the advisory committee or regional service commission may permit

(b) a reasonable variance from the requirements referred to in paragraph 53(2)(a) of a zoning bylaw if it is of the opinion that the variance is desirable for the development of a parcel of land or a building or structure and is in keeping with the general intent of the by-law and any plan under this Act affecting the development.

53(2) the design, character and appearance of buildings and structures,

Recommendation

Staff recommend the APPROVAL of the conditional use application for two multiple unit dwellings at 775 Coverdale Rd subject to the conditions that:

- (1) The development happen in general conformity with the attached site plan and elevation drawings.
- (2) That as-built drawings for engineering submissions shall be required within 30 days after the completion of construction.

Staff recommend the APPROVAL of the conditional use application for multiple main buildings on a lot at 775 Coverdale Rd subject to the conditions that:

- (1) The development happen in general conformity with the attached site plan and elevation drawings.
- (2) That as-built drawings for engineering submissions shall be required within 30 days after the completion of construction.

Staff recommend that the variance to waive the requirement for a public entrance is APPROVED as there are no publicly accessible spaces within the proposed building and there are no public entrances to the building proposed in this building design.

775 Coverdale Rd (PID/NID 00643726)

Riverview

Date: 8/8/2025





COVERDALE 18's

775 COVERDALE ROAD, RIVERVIEW, NB



LIST OF DRAWINGS

- A0.0 COVER SHEET
- A1.0 SITE PLAN & CODE MATRIX
- A1.1 FOUNDATION & ROOF PLAN
- A1.2 FLOOR PLANS
- A1.3 ENLARGEMENT PLANS
- A2.1 EXTERIOR ELEVATIONS
- A3.1 SECTIONS
- A3.2 DETAILS
- A4.1 BUILDING ASSEMBLIES & SCHEDULES

GENERAL NOTES

- DEFINITIONS
 - THE TERM "CONTRACTOR" SHALL BE THE SAME AS "GENERAL CONTRACTOR". THE "CONTRACTOR" IS THE PARTY RESPONSIBLE FOR THE "WORK" AND FOR WHICH A PRIME CONTRACT IS WRITTEN WITH THE "OWNER". SUBCONTRACTORS SHALL ANSWER TO THE "CONTRACTOR".
 - THE TERM "OWNER" SHALL MEAN THE PRIME PARTY RESPONSIBLE FOR PAYMENTS TO THE "CONTRACTOR" AND "ARCHITECTURAL DESIGNER". THE TERM MAY OR MAY NOT REFER TO THE LEGAL OWNER OF THE PROPERTY FOR WHICH THE STRUCTURES WILL BE ERRECTED.
 - THE TERM "WORK" SHALL MEAN ALL LABOR, TRANSPORTATION, MATERIAL, EQUIPMENT, TOOLS, INSTALLATION, SYSTEMS, SUPERVISION AND ANY OTHER INCIDENTAL ITEMS OR SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE PROJECT AND A COMPLETED STRUCTURE READY FOR HUMAN OCCUPANCY WHETHER OR NOT SPECIFICALLY INDICATED OR NOTED. "WORK" SHALL ALSO INCLUDE ANY DEMOLITION OR REPAIR REQUIRED AS A PROCESS OF THE CONSTRUCTION.
 - THE TERM "PROVIDE" SHALL MEAN FURNISH AND INSTALL, MAKE ALL FINAL CONNECTIONS AND LEAVE IN AN APPROVED COMPLETE OPERATING CONDITION.
 - THE TERM "CONTRACT DOCUMENTS" SHALL MEAN ALL DRAWINGS & SPECIFICATIONS OR CORRESPONDENCE ISSUED BY THE ARCHITECTURAL DESIGNER OR THE ENGINEERS.
- REFERENCED DOCUMENTS
 - ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE MUNICIPAL, PROVINCIAL AND FEDERAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS. IF THE CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS WORK IN CONFLICT WITH THE ABOVE-MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COSTS OF REPAIR ARISING OUT OF NON-CONFORMING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN CURRENT CODE AND THE DRAWINGS OR SPECIFICATIONS TO THE ARCHITECTURAL DESIGNER PRIOR TO WORK.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE HIGHEST MANUFACTURING STANDARDS AND BE EXECUTED IN CONFORMANCE WITH CONSTRUCTION INDUSTRY STANDARDS.
- AGREEMENTS
 - THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID, PROPOSAL OR AGREEMENT. THE CONTRACTORS PROPOSAL SHALL INCLUDE ALL TRADES AND SERVICES NECESSARY FOR COMPLETION OF THE WORK. THE CONTRACTOR SHALL NOTE ALL EXISTNG CONDITIONS WHICH INTERFERE OR CONFLICT WITH THE WORKING DRAWINGS AND REPORT THE INCONSISTENCIES PRIOR TO BID, PROPOSAL OR AGREEMENT.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY ERRORS TO THE ARCHITECTURAL DESIGNER AND/OR OWNER.
 - ANY ADDITION, DELETION OR CHANGE IN THE SCOPE OF WORK DESCRIBED BY THE PLANS SHALL BE BY WRITTEN CHANGE ORDER ONLY.
- PRODUCTS AND SPECIFICATIONS
 - ALL PRODUCTS TO BE INSTALLED USING MANUFACTURERS WRITTEN INSTRUCTIONS.
 - THE GENERAL CONTRACTOR SHALL ALWAYS PROTECT MATERIALS AND EXPOSED BUILDING ELEMENTS FROM WEATHER AND WATER INFILTRATION.

- INSURANCE AND QUALIFICATIONS
 - THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND / OR MATERIALS FOR THE WORK ARE REQUIRED TO PURCHASE AND MAINTAIN IN FORCE "ALL RISK" CONTRACTORS INSURANCE PRIOR TO COMMENCEMENT OF THE WORK AND / OR FURNISHING LABOR, SERVICES AND MATERIALS. EACH "ALL RISK" POLICY SHALL BE IN AN AMOUNT SUFFICIENT TO COVER THE REPLACEMENT VALUE OF THE WORK BEING PERFORMED AND/OR THE LABOUR, SERVICES AND MATERIALS BEING SUPPLIED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ARCHITECT AND ALL PROFESSIONAL CONSULTANTS.
 - THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND/OR MATERIALS SHALL MAINTAIN A GENERAL LIABILITY INSURANCE POLICY.
 - THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS EXPERIENCE IN THE TRADE FOR WHICH THEY ARE CONTRACTED.
 - WHERE THE OWNER ACTS ON HIS OWN BEHALF WITH HISHER OWN FORCES, THE OWNER WARRANTS THAT HESHE HAS THE QUALIFICATIONS AND EXPERIENCE NECESSARY FOR THE ORGANIZATION AND COMPLETION OF WORK TO THE SAME STANDARDS AS THAT OF A HIRED CONTRACTOR.
 - THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE FULLY LICENSED AND BONDED FOR THE WORK FOR WHICH THEY ARE RESPONSIBLE. PROOF OF LICENCE SHALL BE PROVIDED TO THE OWNER PRIOR TO EXECUTION OF THE AGREEMENT.
 - THE CONTRACTOR SHALL HAVE A SAFETY PROGRAM IN PLACE AND SHALL BE SOLY RESPONSIBLE FOR THE IMPLEMENTATION OF SUCH POLICY.
- PERMITS AND INSPECTIONS
 - ALL PERMITS AND FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS. THE ARCHITECTURAL DESIGNER AND OWNER SHALL BE NOTIFIED IN ADVANCE OF INSPECTIONS TO ENABLE THEM TO BE PRESENT IF DESIRED.
- AS-BUILT DRAWINGS
 - THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DRAWINGS OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER.
 - AS-BUILT DRAWINGS SHALL INCLUDE ALL CIVIL, ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING OR SPECIALTY DRAWINGS. THE AS-BUILT DRAWINGS SHALL BE UPDATED AS THE PROJECT PROGRESSES FOR REFERENCE.
 - AS-BUILT DRAWINGS SHALL BE GIVEN TO THE OWNER AT SUBSTANTIAL COMPLETION. FINAL PAYMENT TO THE CONTRACTOR SHALL NOT BE MADE UNTIL AS-BUILT DRAWINGS ARE RECEIVED.
- WARRANTY
 - ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR A MINIMUM OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION UNLESS OTHERWISE NOTED. THE WARRANTY SHALL INCLUDE THE COST OF MATERIALS, LABOR AND ANY COST ASSOCIATED WITH THE REPAIR.
 - MANUFACTURERS WARRANTIES SHALL BE THE PROPERTY OF THE OWNER AND SHALL BE TRANSFERRED TO THE OWNER UPON SUBSTANTIAL COMPLETION.
 - MANUFACTURERS WARRANTIES SHALL NOT RELEASE THE CONTRACTOR OF THEIR RESPONSIBILITY DURING THE WARRANTY PERIOD.

- DRAWING NOTES
 - DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY UNLESS NOTED OTHERWISE. THE DETAILS SHOWN ARE INTENDED TO FURTHER ILLUSTRATE THE VISUAL DESIGN CONCEPT AND THE MINIMUM RECOMMENDED WEATHER PROTECTION FOR THIS PROJECT. BUILDING CODE REQUIREMENTS, STRUCTURAL CONSIDERATIONS, TRADE ASSOCIATION MANUALS AND PUBLICATIONS AS WELL AS MANUFACTURERS WRITTEN INSTRUCTIONS SHALL ALSO BE CONSIDERED IN ORDER TO COMPLETE THE CONSTRUCTION OF THE DETAILS, AND IN SOME CASES MAY SUPERSEDE THE DETAILS.
 - THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION REQUIRED TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THE IMPLEMENTATION OF THESE PLANS REQUIRES A CONTRACTOR KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS TYPE OF CONSTRUCTION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK BETWEEN SUBCONTRACTORS AND SHALL REQUIRE ALL SUBCONTRACTORS USE THE MOST CURRENT SET OF APPROVED DRAWINGS.
 - SUBCONTRACTORS ARE RESPONSIBLE TO VERIFY THE EXISTING SITE CONDITIONS PRIOR TO MANUFACTURING THEIR PART OF THE WORK.
 - ELEMENTS OF STRUCTURE, CIVIL, MECHANICAL AND ELECTRICAL ARE SHOWN ON THE ARCHITECTURAL DRAWINGS FOR CO-ORDINATION ONLY. REFER TO EACH DISCIPLINES DRAWINGS AND SPECIFICATIONS FOR COMPLETE INSTALLATION DETAILS.
 - ALL PENETRATIONS OF THE VAPOUR BARRIER ARE TO BE SEALED TO MAINTAIN THE INTEGRITY OF A CONTINUOUS MEMBRANE.
 - ALL PENETRATIONS OF FIRE SEPARATIONS ARE TO BE SEALED TO MAINTAIN THE INTEGRITY OF A CONTINUOUS BARRIER.
 - BLOCKING SHALL BE INSTALLED FOR ALL EQUIPMENT, AUDIOVISUAL, MILL WORK, SPECIALTIES ETC. PRIOR TO THE INSTALLATION OF DRYWALL.
 - THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH ALL BUILDING CODES, INCLUDING LOCAL BY-LAWS. AT THE TIME OF PRODUCTION, THE ARCHITECTURAL DESIGNER ASSUMES IMMEDIATE SUBMITTAL OF DRAWINGS TO THE BUILDING INSPECTION DEPARTMENT UPON COMPLETION. THE ARCHITECTURAL DESIGNER IS NOT RESPONSIBLE FOR CODE CHANGES OCCURRING MORE THAN 6 MONTHS AFTER COMPLETION OF THESE DRAWINGS.
- MISCELLANEOUS
 - ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR GARBAGE CAUSED BY THEIR WORK. ALL FIXTURES, EQUIPMENTS, GLAZING, WALLS, FLOORS ETC., SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

2020 BUILDING CODE REVIEW										
								CODE REFERENCE		
Project Name: COVERDALE APARTMENTS								PART 3 <input type="checkbox"/>	PART 9 <input checked="" type="checkbox"/>	
Project Address: 775 COVERDALE ROAD, RIVERVIEW, NB										
Project Description: 2x 18-UNIT, 2-STOREY WALK-UP APARTMENTS										
Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of Use								Div.A 1.2.1 & Div.C 2.3.1		
Alternate Solution Proposed: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No								Division A 1.4.1.2.		
Total Building Area: New: 599m ²										
Major Occupancies:		Group: C		Description: RESIDENTIAL				3.1.2.1.(1)	9.10.2.	
		Group:		Description:						
		Group:		Description:						
		Group:		Description:						
		Group:		Description:						
Building Classification:								3.2.2.20-88.	-	
Occupant Load:		<input type="checkbox"/> sq.m/person		<input checked="" type="checkbox"/> Building Design				3.1.17.	9.9.1.3.	
		Basement:		Ground Floor: 26						
		Second Floor: 28		Third Floor:						
		Total: 54								
Number of Stories:		Above Grade: 2		Below Grade:				Division A 1.4.1.2.		
Building Height: 6.3m										
Number of Streets/Access Routes: 2								3.2.2.10.	-	
Firewalls:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.1.10.	9.10.11.	
Sprinkler System:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.1.5.	9.10.1.3.	
Adequate Water Supply:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No						3.2.2.18.		
Standpipe System:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.5.8.	9.10.1.3.	
Fire Alarm System:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.4.	9.10.18.2.	
High Building:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6.	-	
Emergency Power Supply:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.7.5.	-	
Hazardous Substances:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.3.1.2.	9.10.1.3.	
Vertical Service Space:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.6.3.	-	
Permitted Construction Type:		Both <input type="checkbox"/> <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible						3.2.2.20-88.	-	
Proposed Construction Type:		Both <input type="checkbox"/> <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible								
Required Fire Resistance Rating:		Floors: 45min		Supporting Assembly: 45min				3.2.2.20-88.	9.10.8.1.	
		Roof: 45min provided at ceiling for seperation		Supporting Assembly: 45min						
		Separation of Suites: 45min								
		Service Room: 1h								
Spatial Separation								3.2.1.4.		
Wall Location	Area of Exp. Building Face	Limiting Distance	L/H OR H/L	Max % of Openings	Min. Fire Resistance	Type of Construction	Type of Cladding	3.2.3.	9.10.14.	
NORTH	18.5m ²	69m	-	> 100%	-	-	-			
EAST	LARGEST = 21m ²	23m	-	> 100%	-	-	-			
SOUTH	18.5m ²	25m	-	> 100%	-	-	-			
WEST	LARGEST = 21m ²	4.5m	-	51.25%	45MIN	COMBUSTIBLE	COMBUSTIBLE			
West calculated using interpolation method.								3.4.2.	9.9.7-8.	
Maximum Travel Distance:										
Number of Water Closets: 1 PER SUITE INC. KITCHEN SINK, LAVATORY, BATHTUB AND/OR SHOWER								3.7.2.	9.31.1.	
Barrier-Free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explain: 1 MAIN FLOOR SUITE								NB Regulation 2011-61		

SITE DESIGN SUMMARY	
LOT INFO	
PID	00843728
ADDRESS	775 COVERDALE ROAD, RIVERVIEW, NB
LOT AREA	6.669m ²
ZONING	SC - SUBURBAN COMMERCIAL
BUILDING INFO	
BUILDING FOOTPRINT	630m ² x 2 = 1,260m ²
BUILDING HEIGHT	6.3m, 2-STORIES
RESIDENTIAL SUITES	18-UNITS x 2 = 36-UNITS
BUILDING REQUIREMENTS	
FACADE JOGS & RECESS	6m EVERY 9m MIN.
TRADITIONAL MATERIALS	GRADE TO T/FIRST FLOOR W/ 10% MASONRY
LOT REQUIREMENTS	
MINIMUM LOT AREA	1,300m ² ACTUAL = 6.669m ²
MINIMUM LOT FRONTAGE	30m ACTUAL = 40m
REQUIRED FRONT / FLANKAGE YARD	4.5m
REQUIRED REAR YARD	6m
REQUIRED SIDE YARD	1.5m
MAXIMUM LOT COVERAGE	50%
LANDSCAPING REQUIREMENTS	
TREES & SHRUBS	1 PER 63m ² OF LANDSCAPED AREA
SCREENING FROM RESIDENTIAL	3m WIDE LANDSCAPED BUFFER INC. 2m HIGH HEDGE OR OPAQUE FENCE
SCREENING MULTI-UNIT FROM RESIDENTIAL	6m WIDE LANDSCAPED BUFFER INC. 2m HIGH DECORATIVE FENCE, 1 SHRUB PER 15m ² & 50mm Ø TREES 2m BRANCHING HEIGHT EVERY 5m
SCREENING MULTI-UNIT FROM OTHER ZONES	3m WIDE LANDSCAPED BUFFER INC. 1 SHRUB PER 15m ² & 50mm Ø TREES 2m BRANCHING HEIGHT EVERY 5m
SCREENING OF GARBAGE STORAGE	2m HIGH OPAQUE FENCE
LOCATION OF GARBAGE STORAGE	NOT IN FRONT, FLANKAGE OR REOD YARD
PARKING REQUIREMENTS	
PARKING SPACE MIN.	2.75 x 5.5m
DRIVEWAY AISLE	6.7m MIN FOR 2-WAY
LOCATION RESTRICTIONS	FRONT / FLANKAGE YARD, SIDE OR REAR YARD ABUTTING RESIDENTIAL & LANDSCAPE BUFFERS
DRIVEWAY TO STREET RADIUS	10m W/ CURB
PARKING LOT DELINEATION	CURB REOD
SCREENING FROM STREET	2m WIDE, 1.5m HIGH, SPACING: TREES=10m, SHRUBS=1.5m
PARKING AREA COVERAGE % MAX.	35% OF LOT: 6.669m ² x 35% = 2.334m ²
PARKING AREA COVERAGE PROVIDED	2.298m ²
PARKING LANDSCAPE % MIN	10% OF PARKING AREA: 2.298m ² x 10% = 229m ²
PARKING LANDSCAPE % PROVIDED	238m ²
REQUIRED PARKING SPACES	1.25 FOR EACH UNIT - 36 x 1.25 = 45
PARKING PROVIDED SPACES	50 TOTAL PARKING SPACES / 1.39 RATIO
BARRIER-FREE PARKING	1 PER 20 - 3 PROVIDED
BICYCLE PARKING	1 PER 20, MINIMUM 4 - 4 PROVIDED



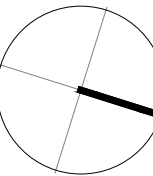
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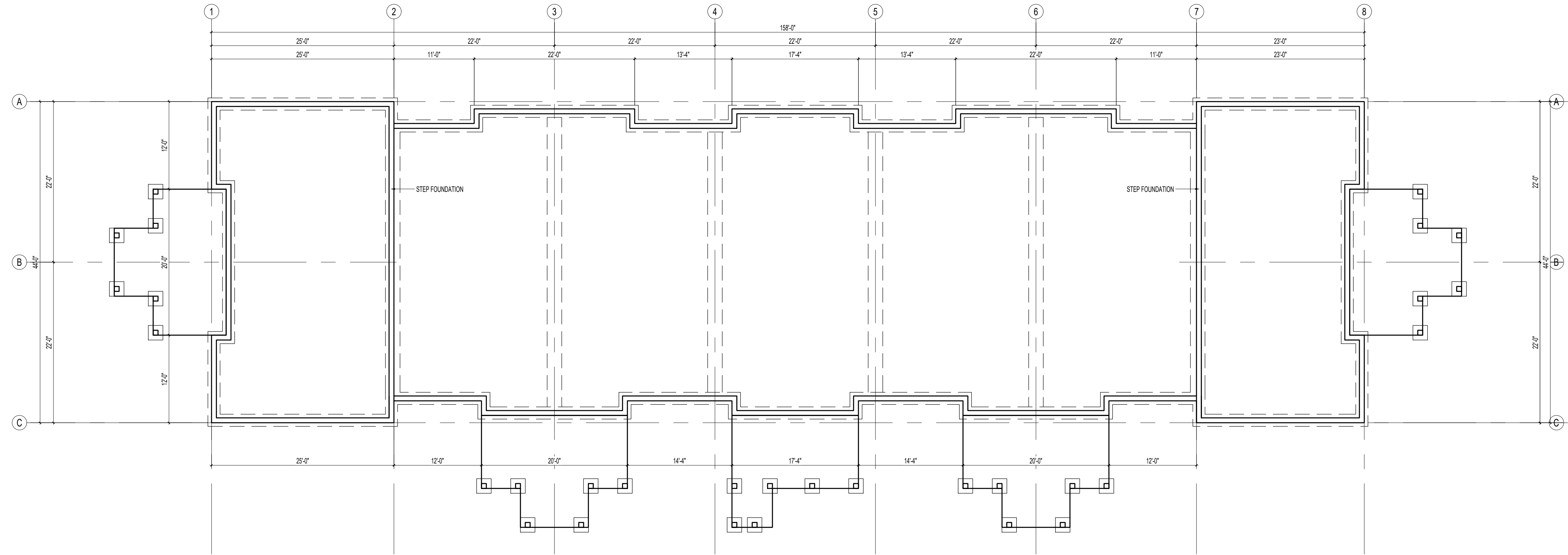
COVERDALE 18's
775 COVERDALE ROAD, RIVERVIEW, NB

REVISIONS		
DESCRIPTION	DATE	#
ISSUED FOR AHJ REVIEW	2025-06-16	A
RE-ISSUED FOR AHJ REVIEW	2025-07-10	B
STRUCTURAL COORDINATION	2025-08-04	C
18-UNIT COORDINATION	2025-09-04	D

SITE PLAN

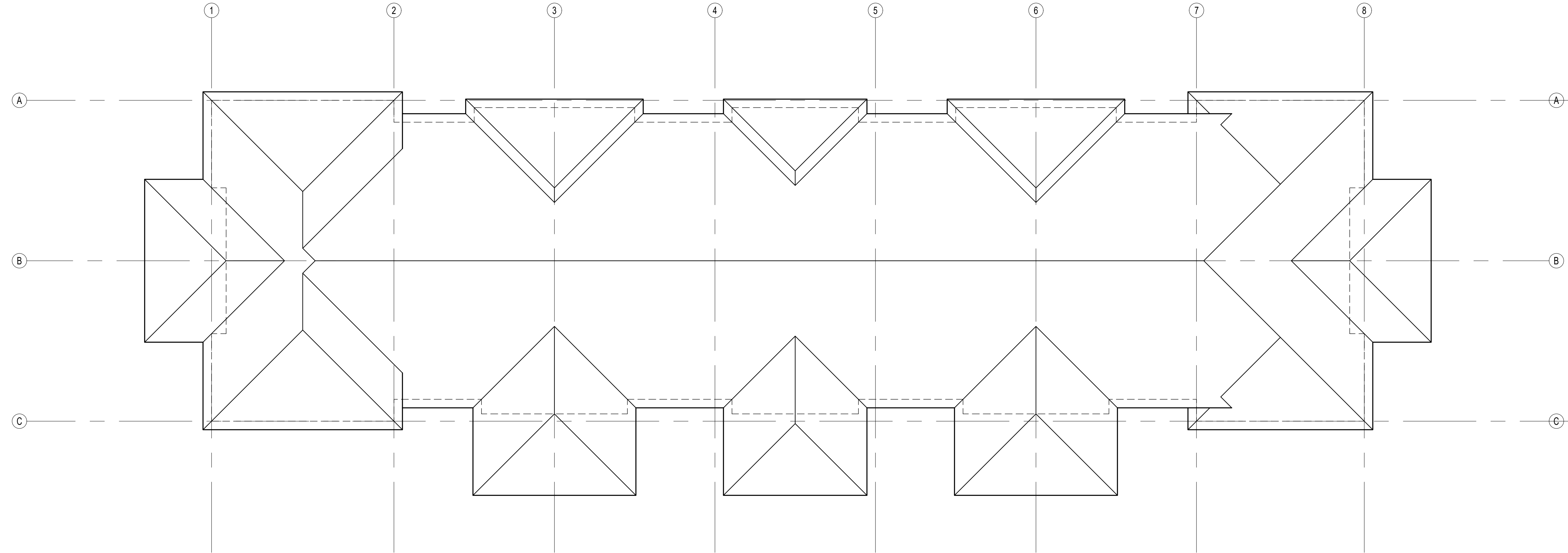
A1.0

PROJECT #	BD-2503
DATE	2025-06-06
DRAWN BY	S. BANNISTER



1 FOUNDATION PLAN

SCALE: 1/8"=1'-0"



2 ROOF PLAN

SCALE: 1/8"=1'-0"



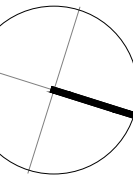
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COVERDALE 18's

775 COVERDALE ROAD, RIVERVIEW, NB

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FLOOR PLANS

A1.1

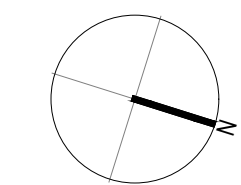
PROJECT # BD-2503
DATE 2025-06-06
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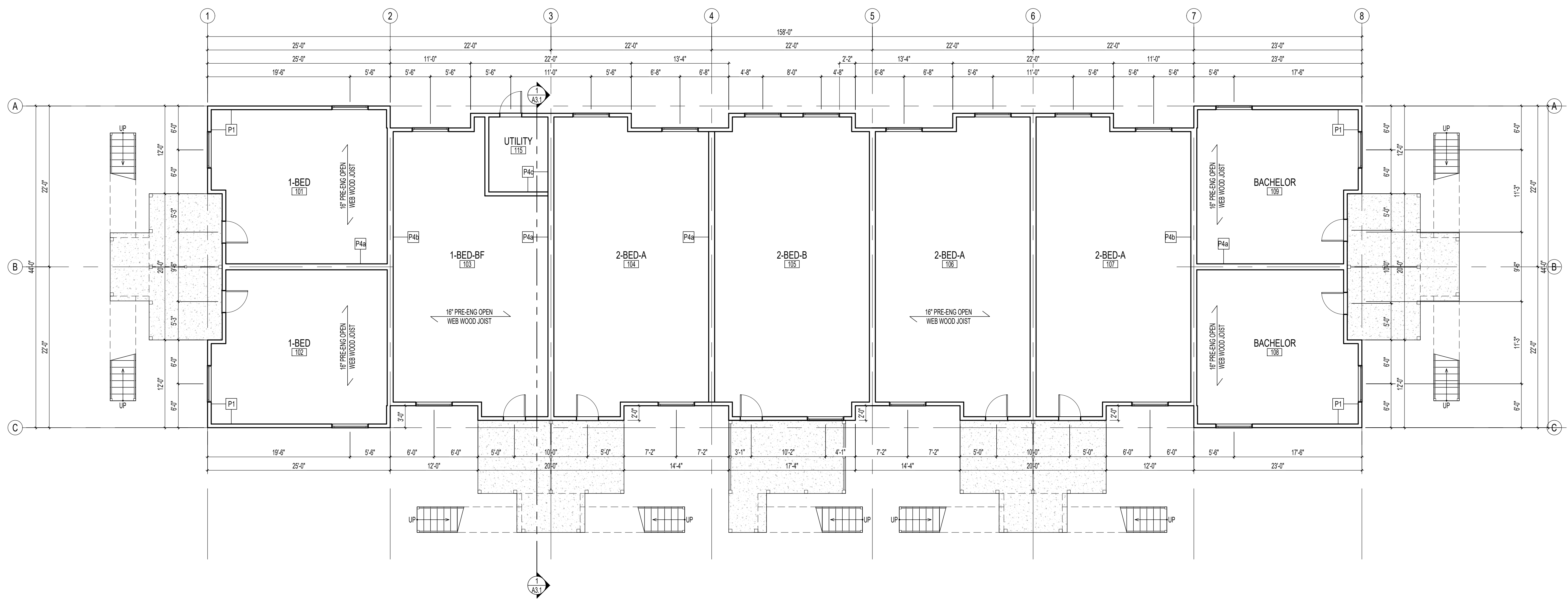
COVERDALE 18's
775 COVERDALE ROAD, RIVERVIEW, NB

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FOUNDATION &
ROOF PLAN

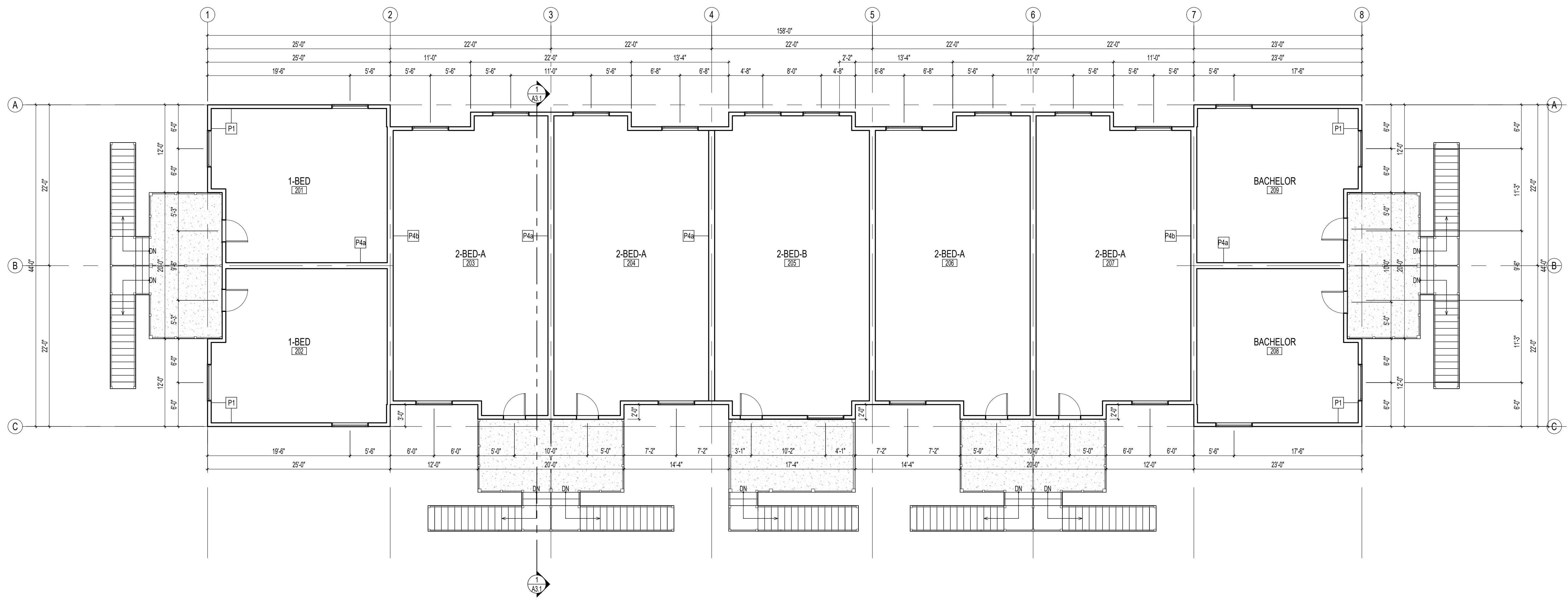
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PROJECT # BD-2503
DATE 2025-06-06
DRAWN BY S. BANNISTER



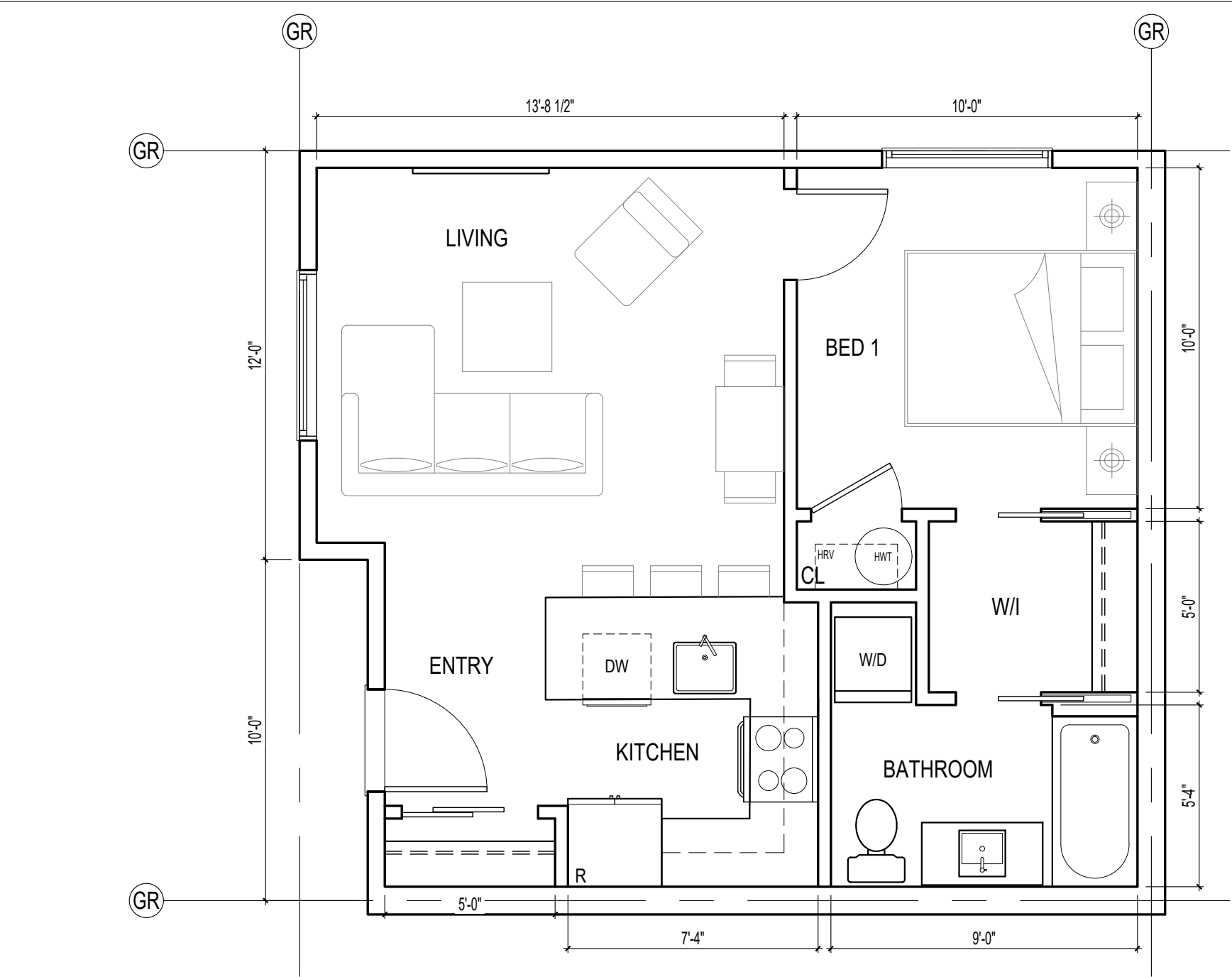
1 MAIN FLOOR PLAN

SCALE: 1/8"=1'-0"



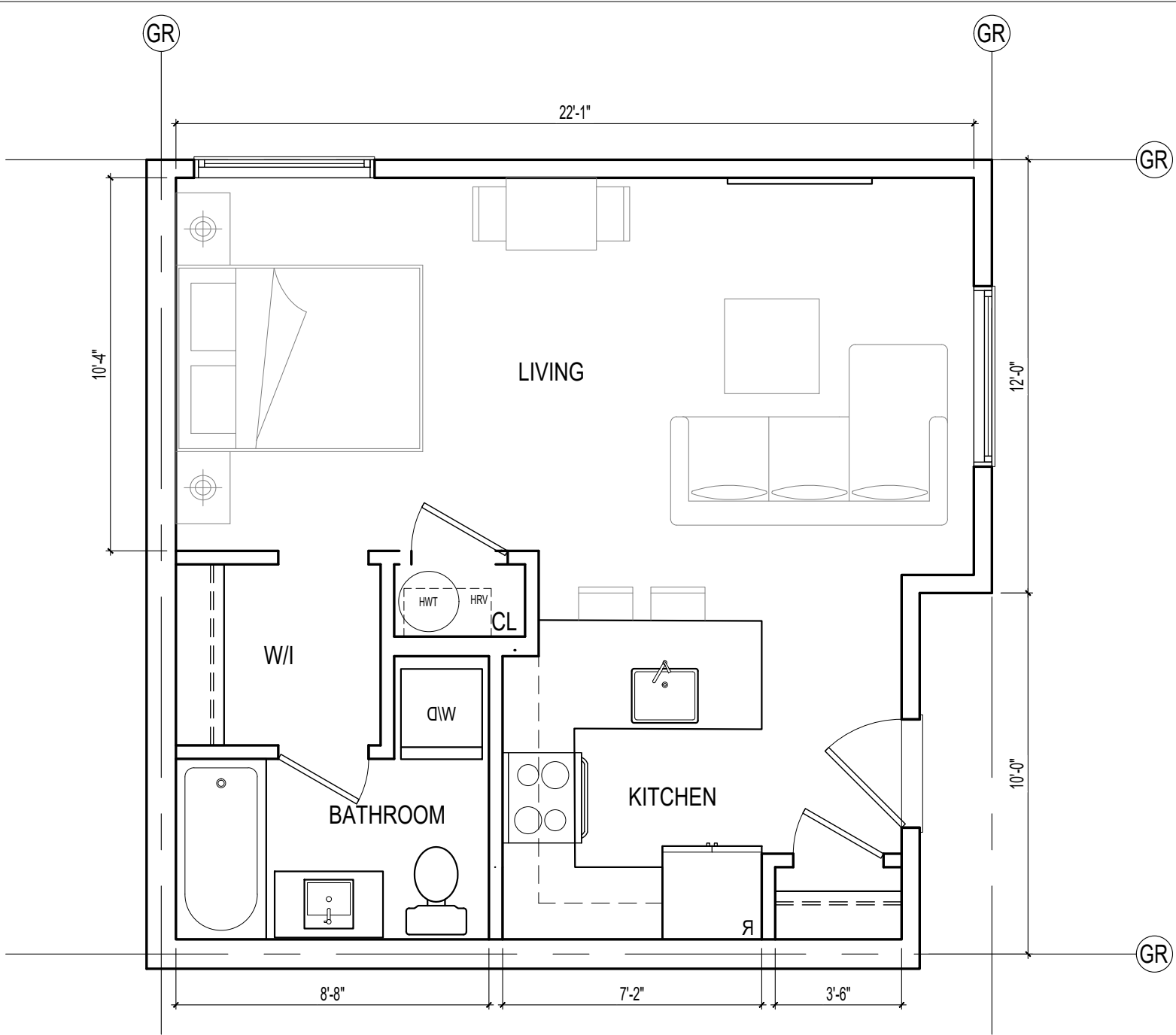
2 SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



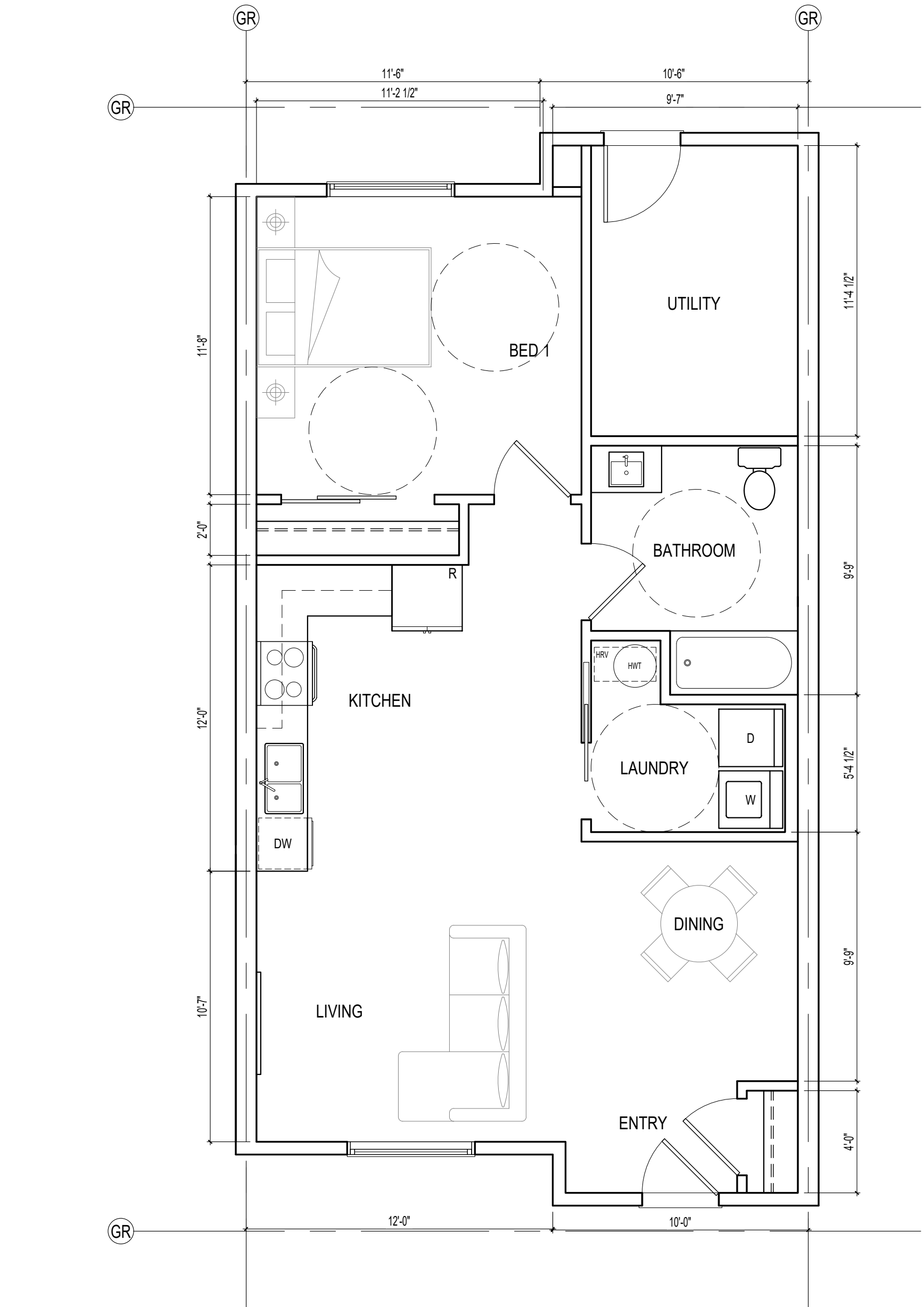
1 ENLARGEMENT PLAN - 1-BED - 530sf

SCALE: 1/4"=1'-0"



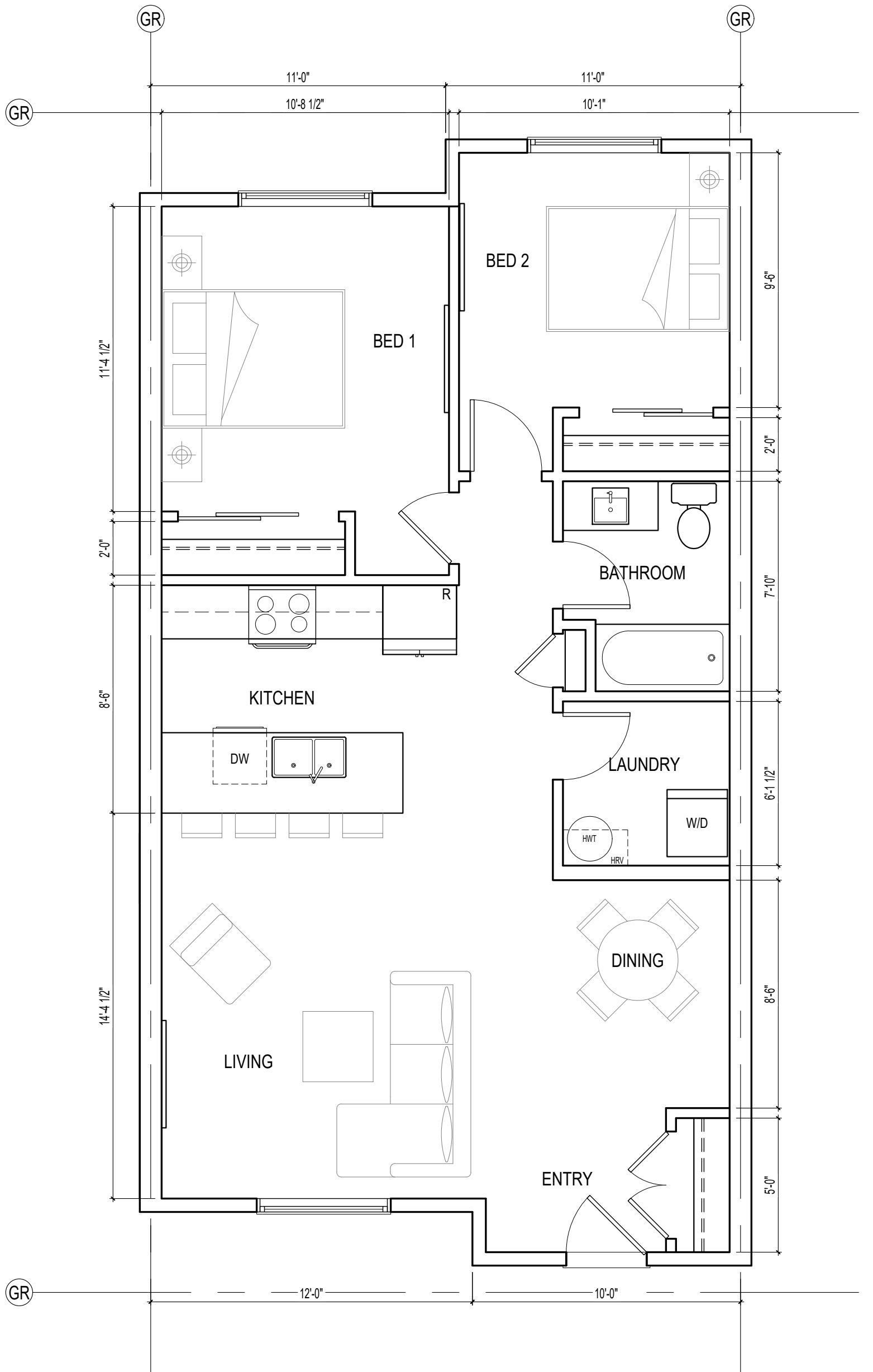
2 ENLARGEMENT PLAN - BACHELOR - 486sf

SCALE: 1/4"=1'-0"



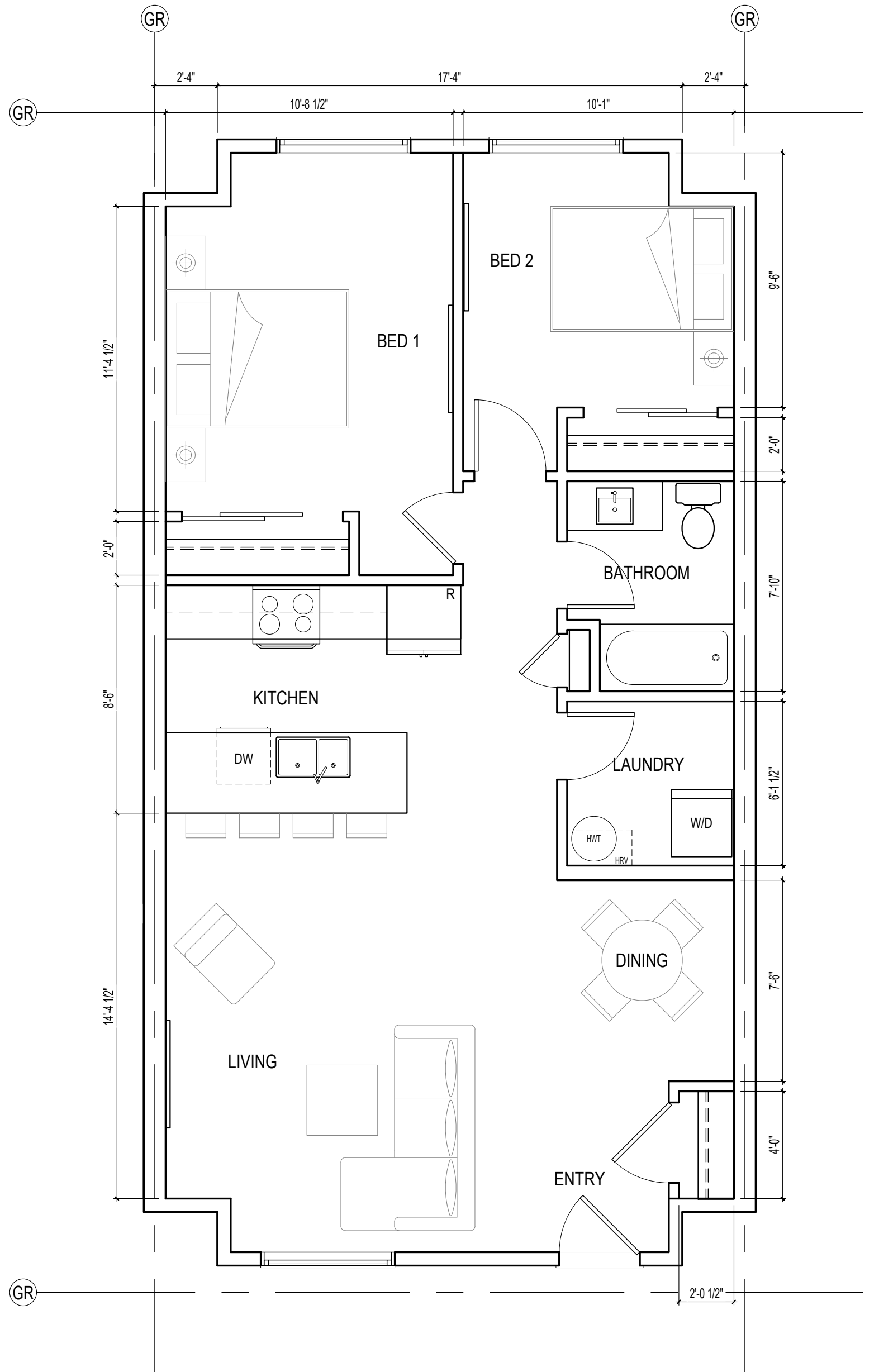
4 ENLARGEMENT PLAN - 1-BED - BF - 768sf

SCALE: 1/4"=1'-0"



5 ENLARGEMENT PLAN - 2-BED-A - 878sf

SCALE: 1/4"=1'-0"



6 ENLARGEMENT PLAN - 2-BED-B - 905sf

SCALE: 1/4"=1'-0"



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ENLARGEMENT
PLANS

A1.3

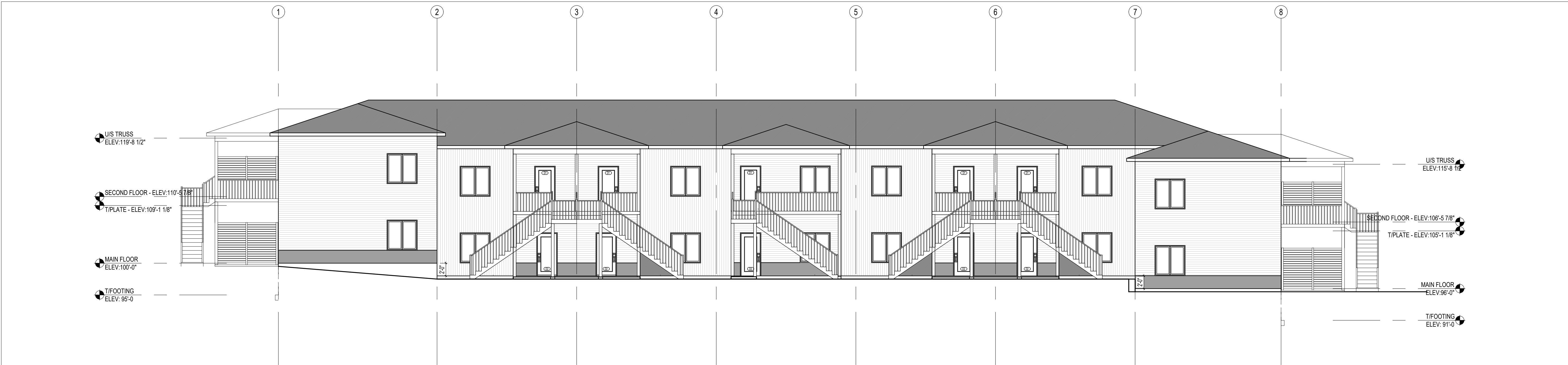
PROJECT #	BD-2503
DATE	2025-06-06
DRAWN BY	S. BANNISTER

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**EXTERIOR
ELEVATIONS**

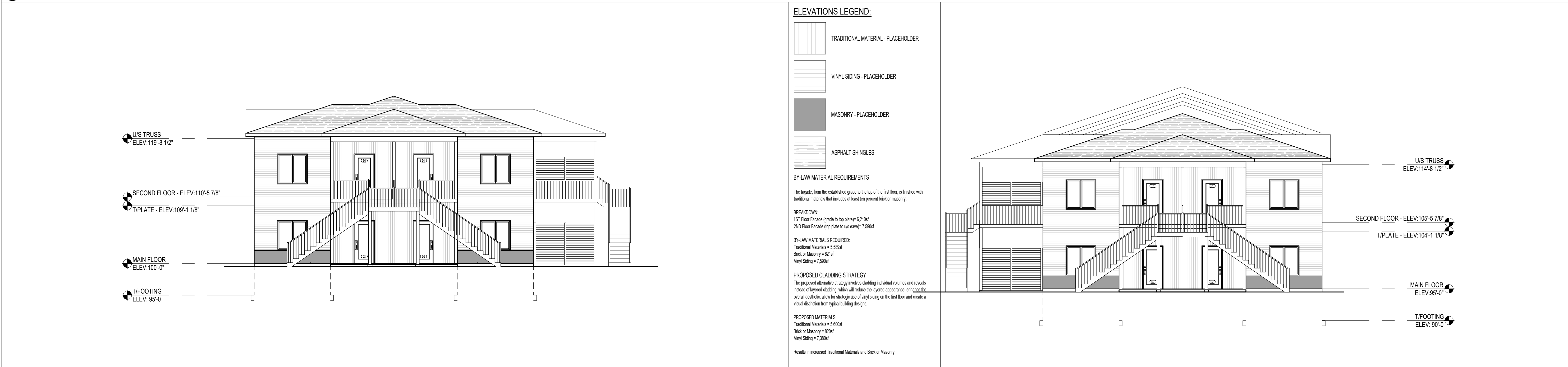
A2.1

PROJECT # BD-2503
DATE 2025-06-06
DRAWN BY S. BANNISTER



1 ELEVATION - EAST

SCALE: 1/8"=1'-0"

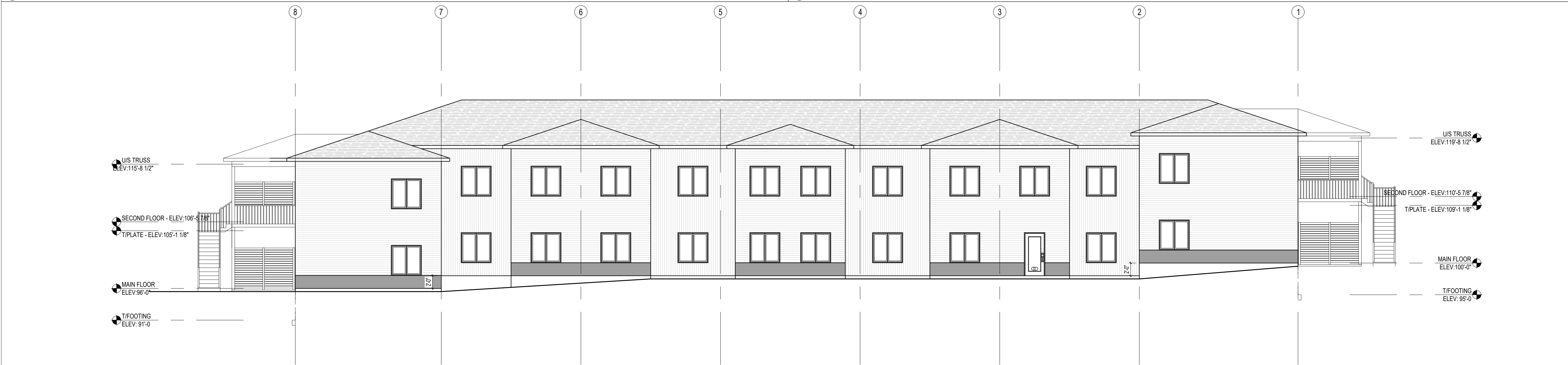


2 ELEVATION - SOUTH

SCALE: 1/8"=1'-0"

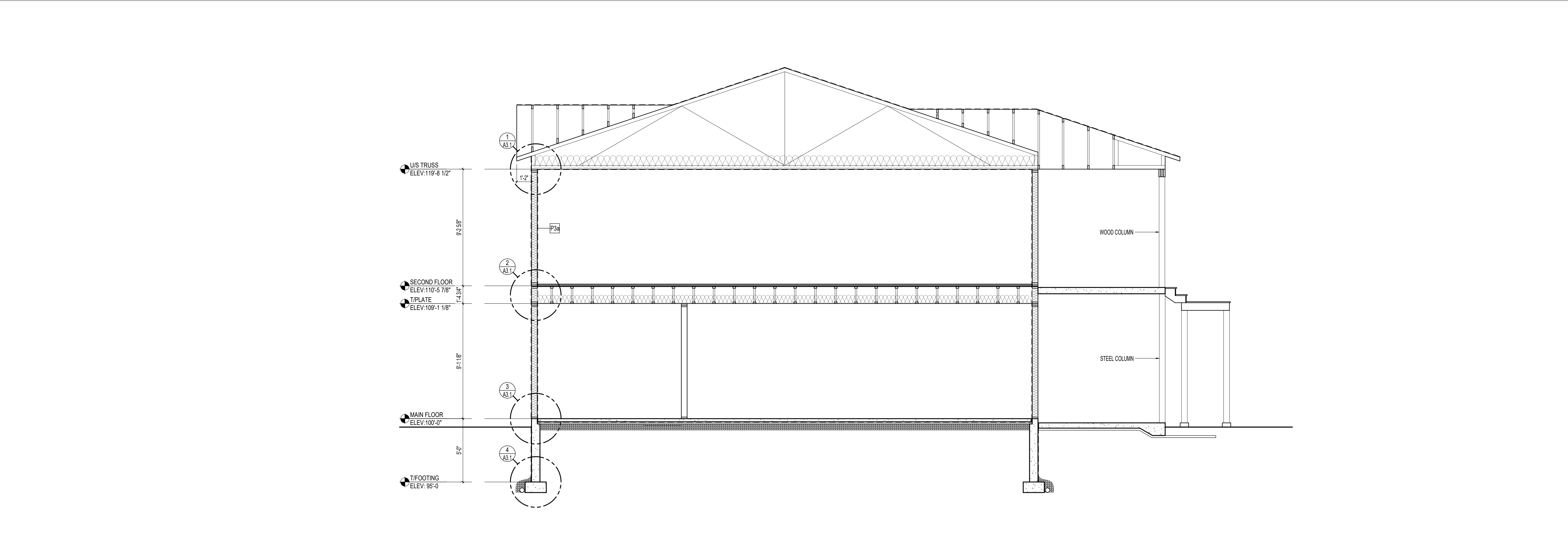
3 ELEVATION - NORTH

SCALE: 1/8"=1'-0"



4 ELEVATION - WEST

SCALE: 1/8"=1'-0"



1 BUILDING SECTION SCALE: 1/4"=1'-0"



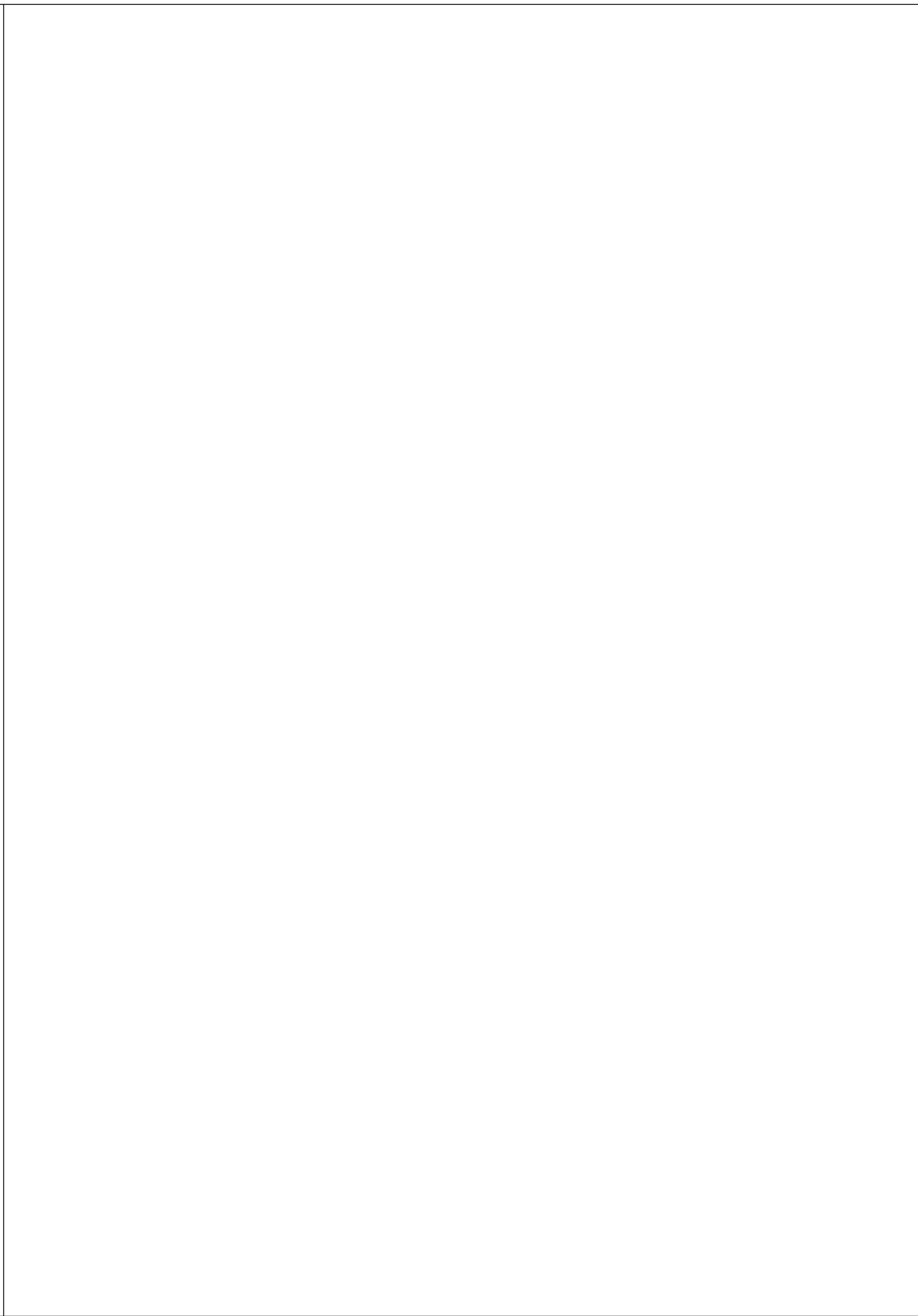
2 WALL SECTION SCALE: 1/4"=1'-0"



3 WALL SECTION SCALE: 1/4"=1'-0"



4 WALL SECTION SCALE: 1/4"=1'-0"



5 WALL SECTION SCALE: 1/4"=1'-0"



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COVERDALE 18's
775 COVERDALE ROAD, RIVERVIEW, MB

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SECTIONS

A3.1

PROJECT #

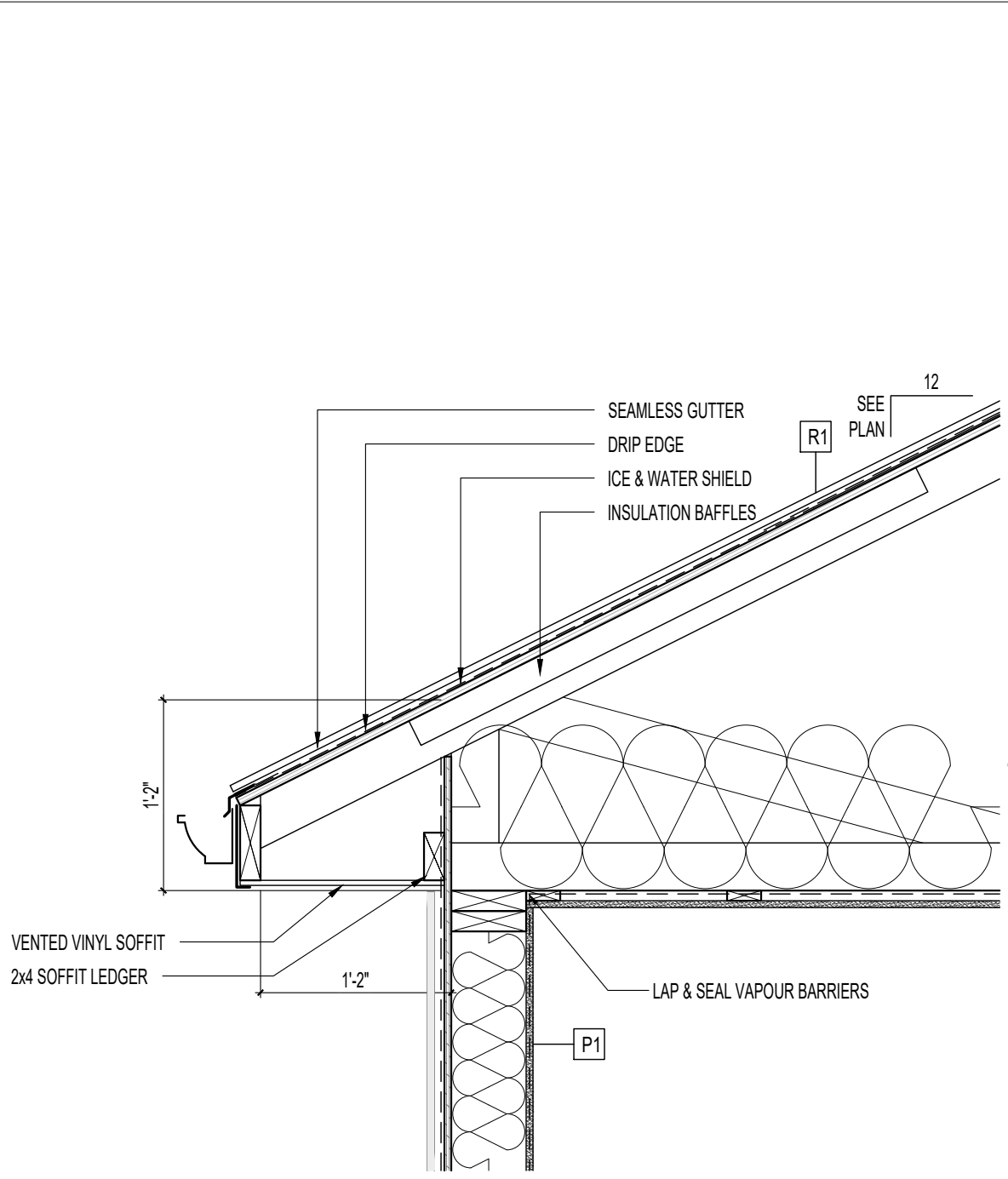
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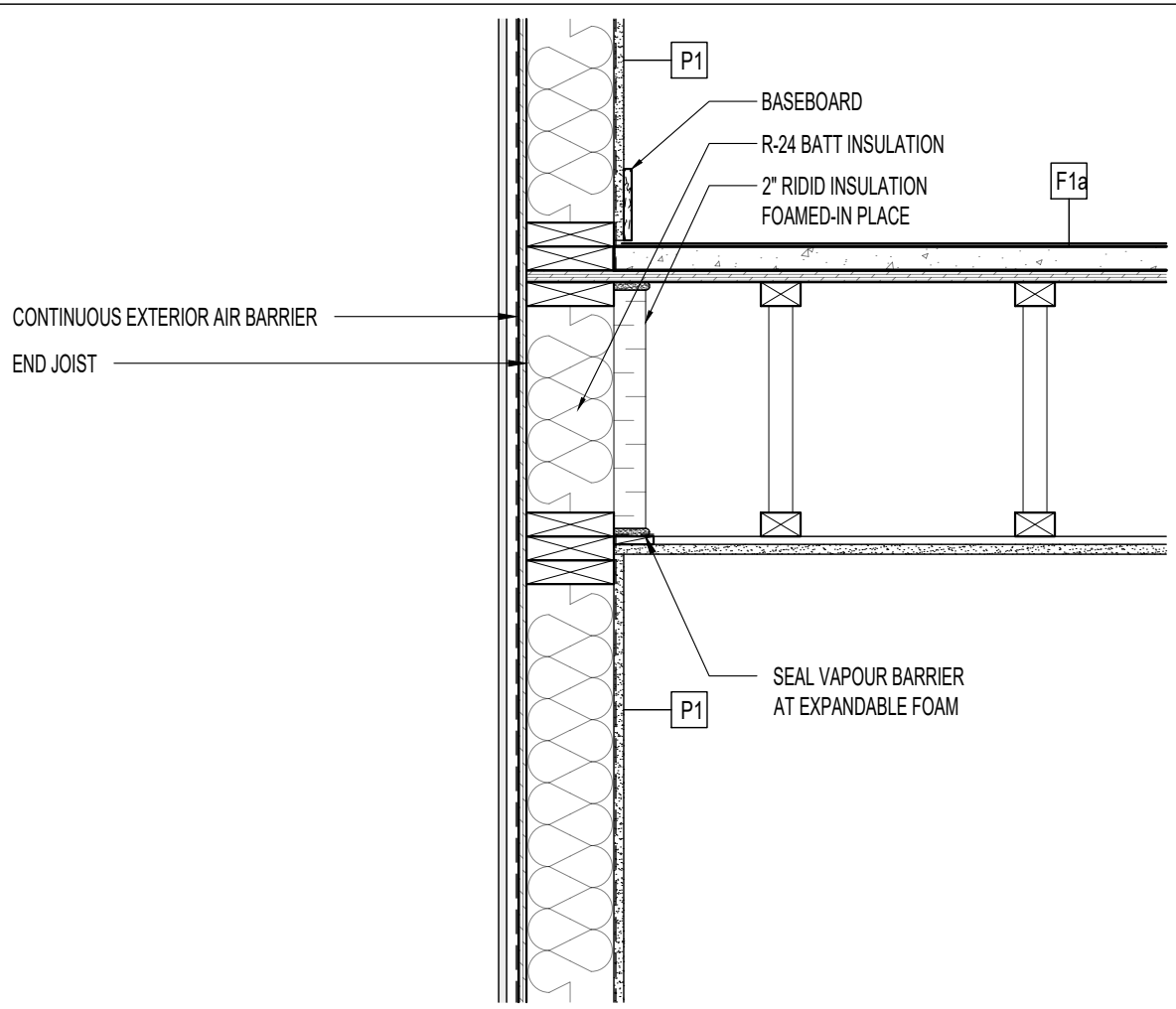
BD-2503

2025-06-06

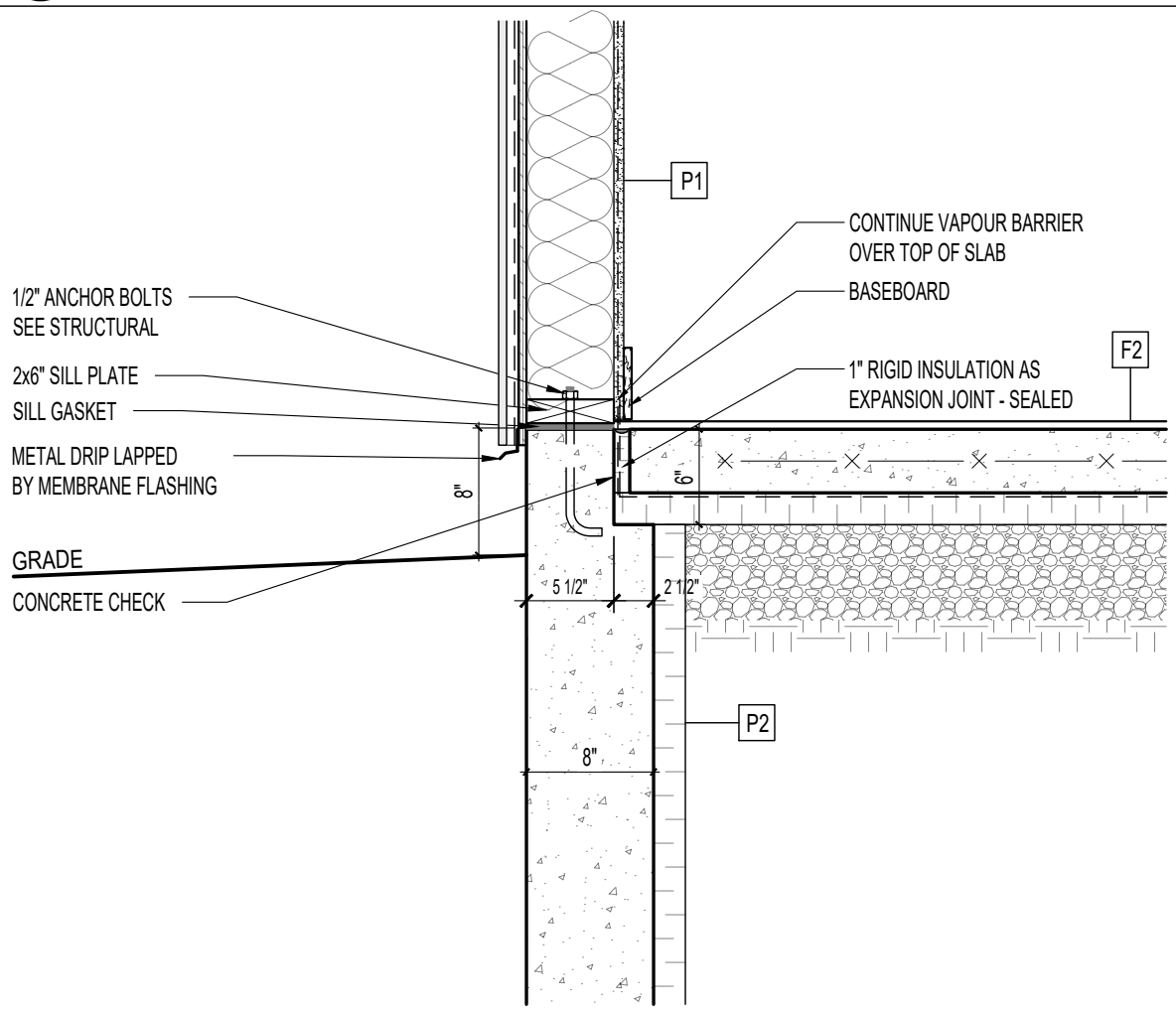
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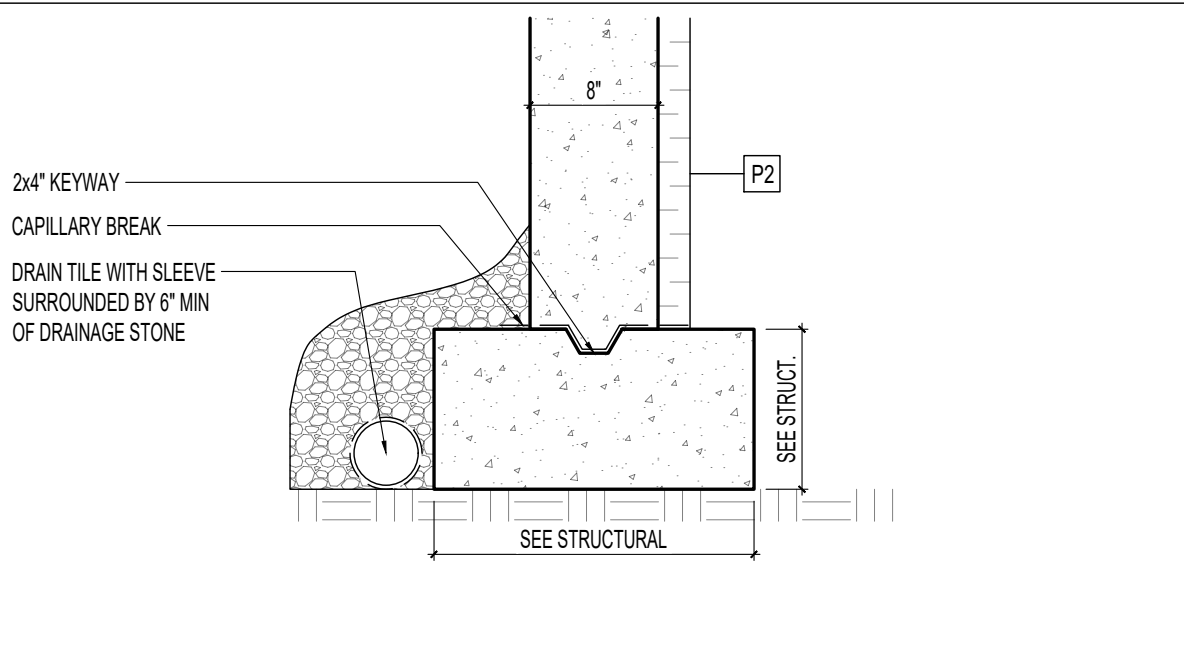
1 DETAIL - ROOF AT EAVE SCALE: 1"=1'-0"



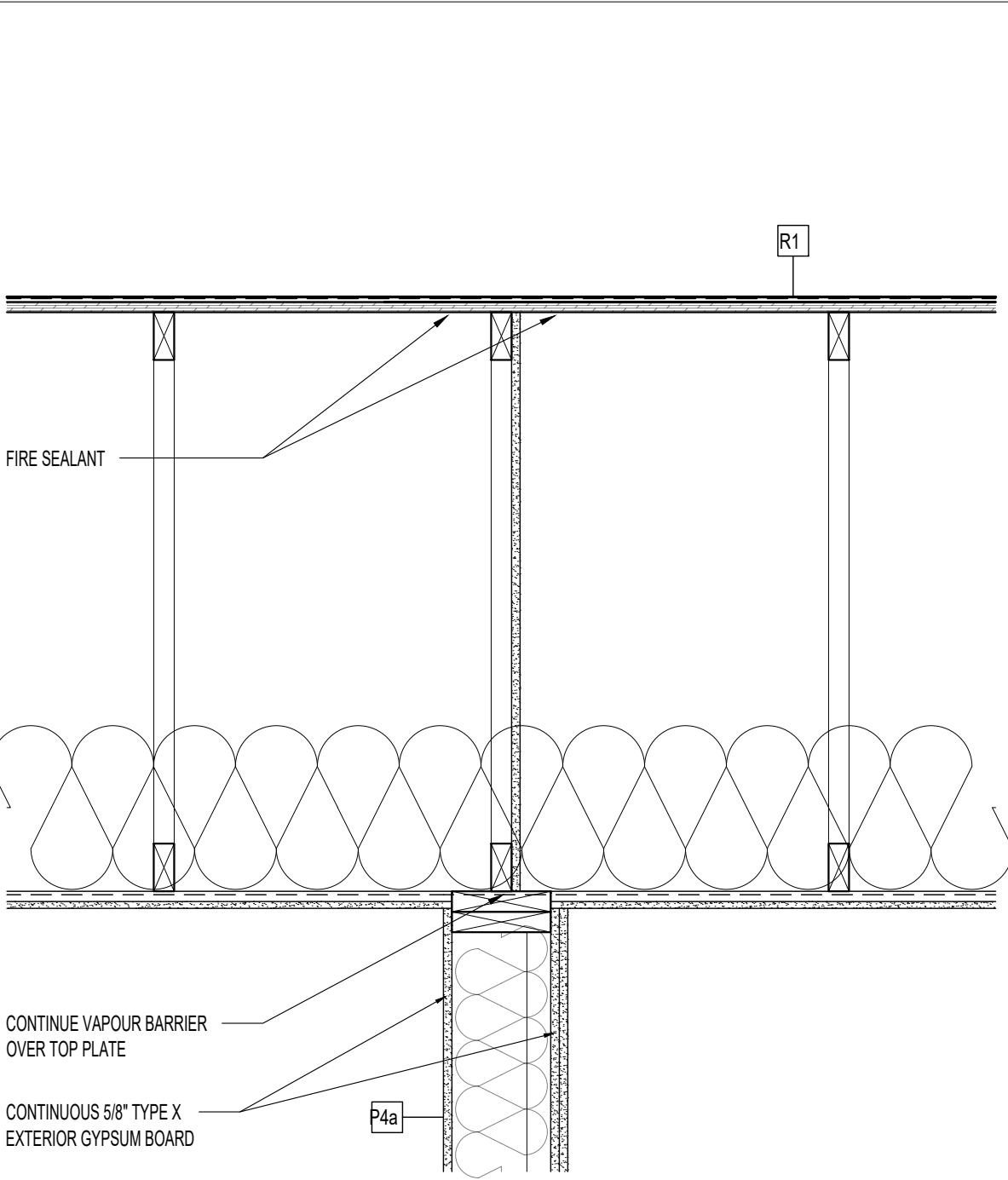
2 WALL SECTION - JOIST AT EXT. WALL SCALE: 1"=1'-0"



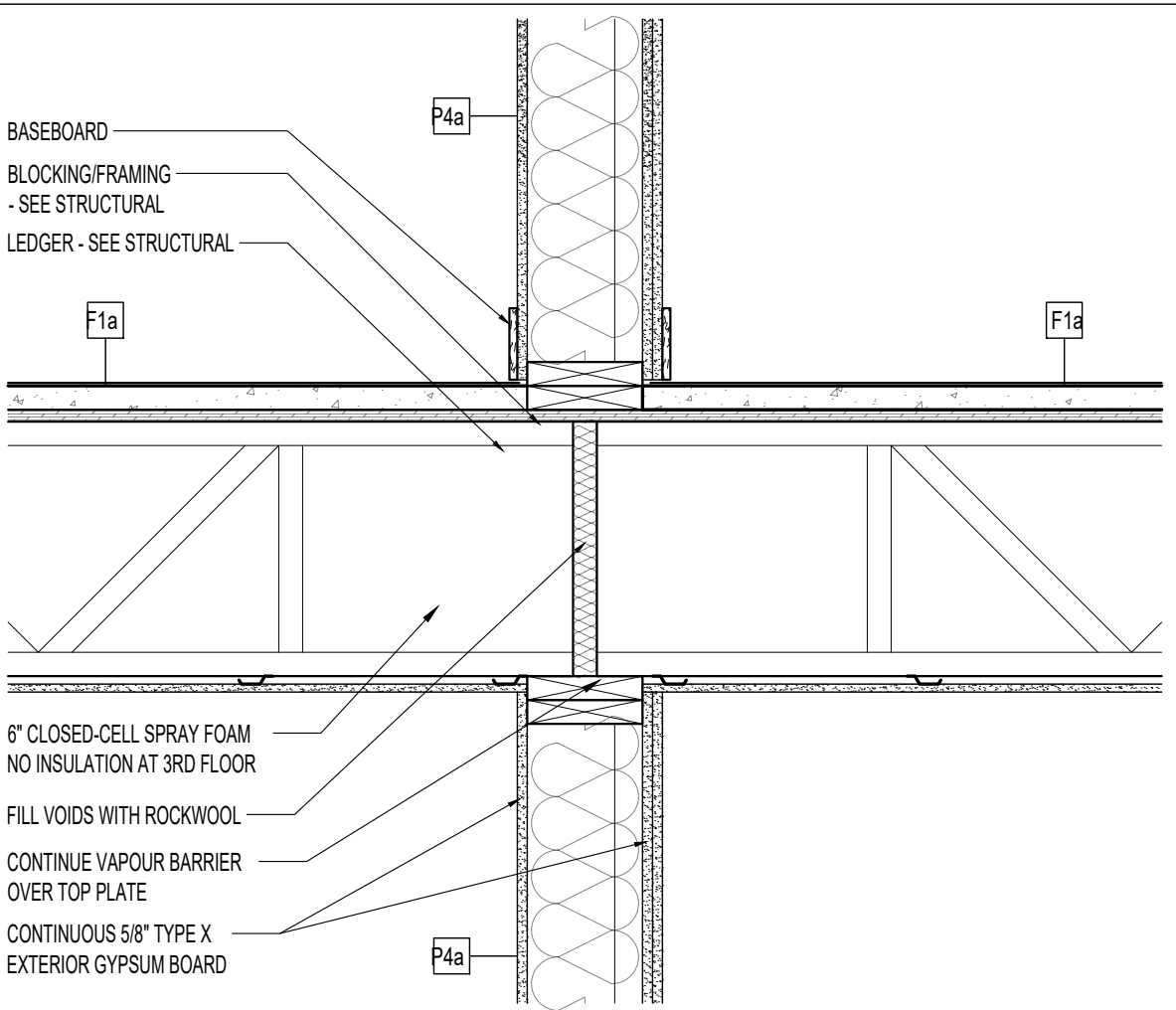
3 WALL SECTION - SLAB AT EXT. WALL SCALE: 1"=1'-0"



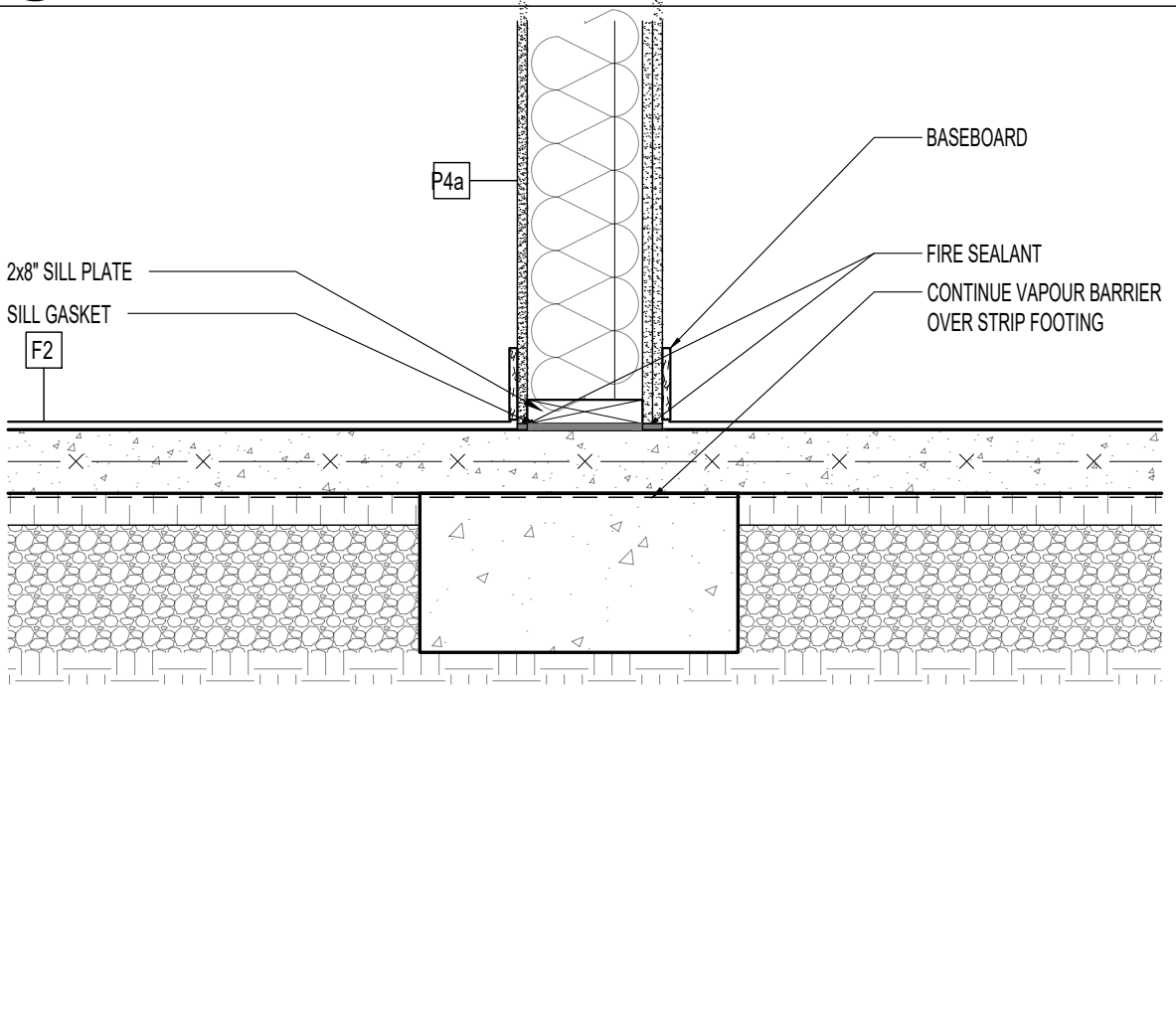
4 WALL SECTION - FOOTING AT EXT. WALL SCALE: 1"=1'-0"



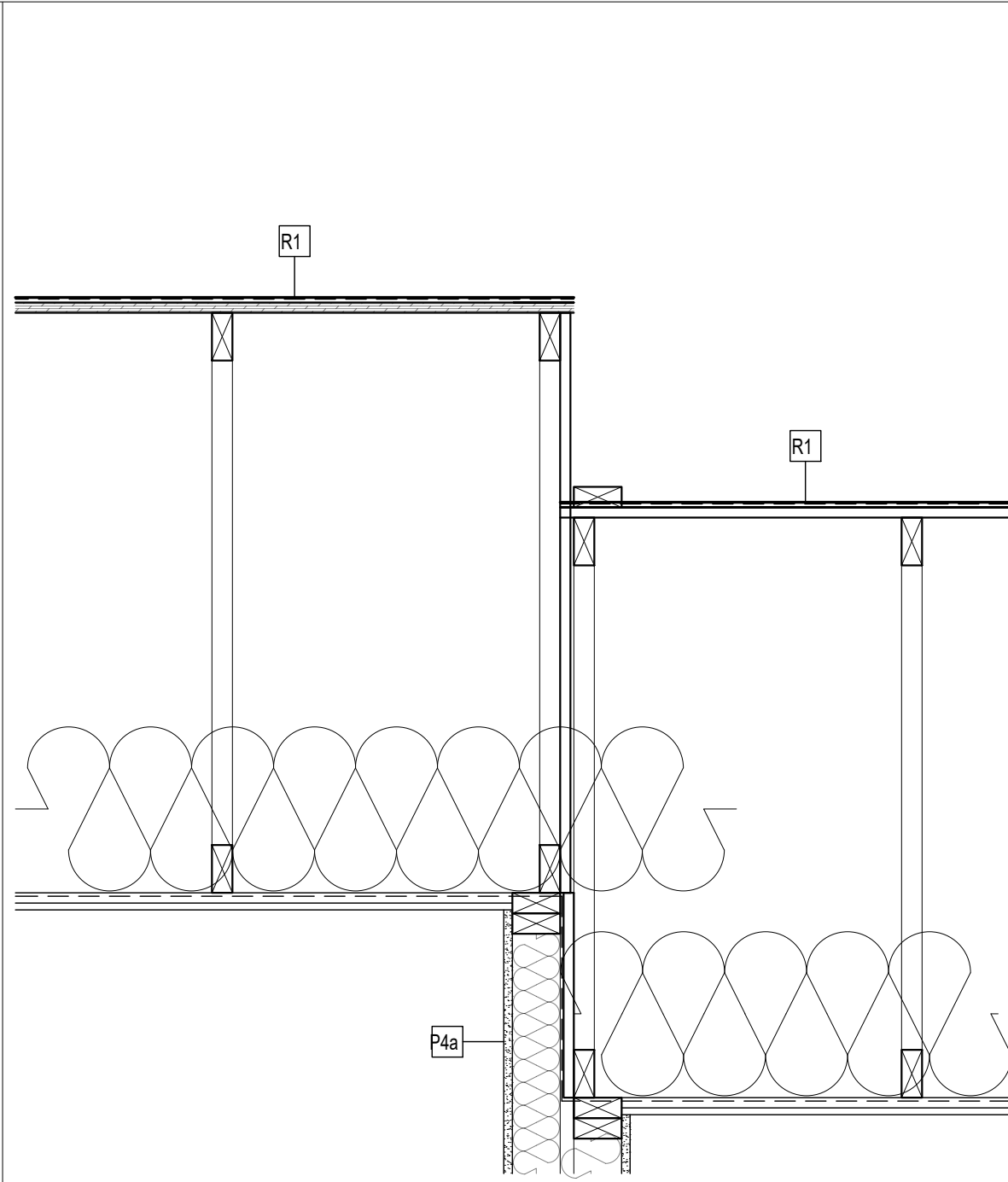
5 WALL SECTION - ROOF AT DEMISING WALL SCALE: 1"=1'-0"



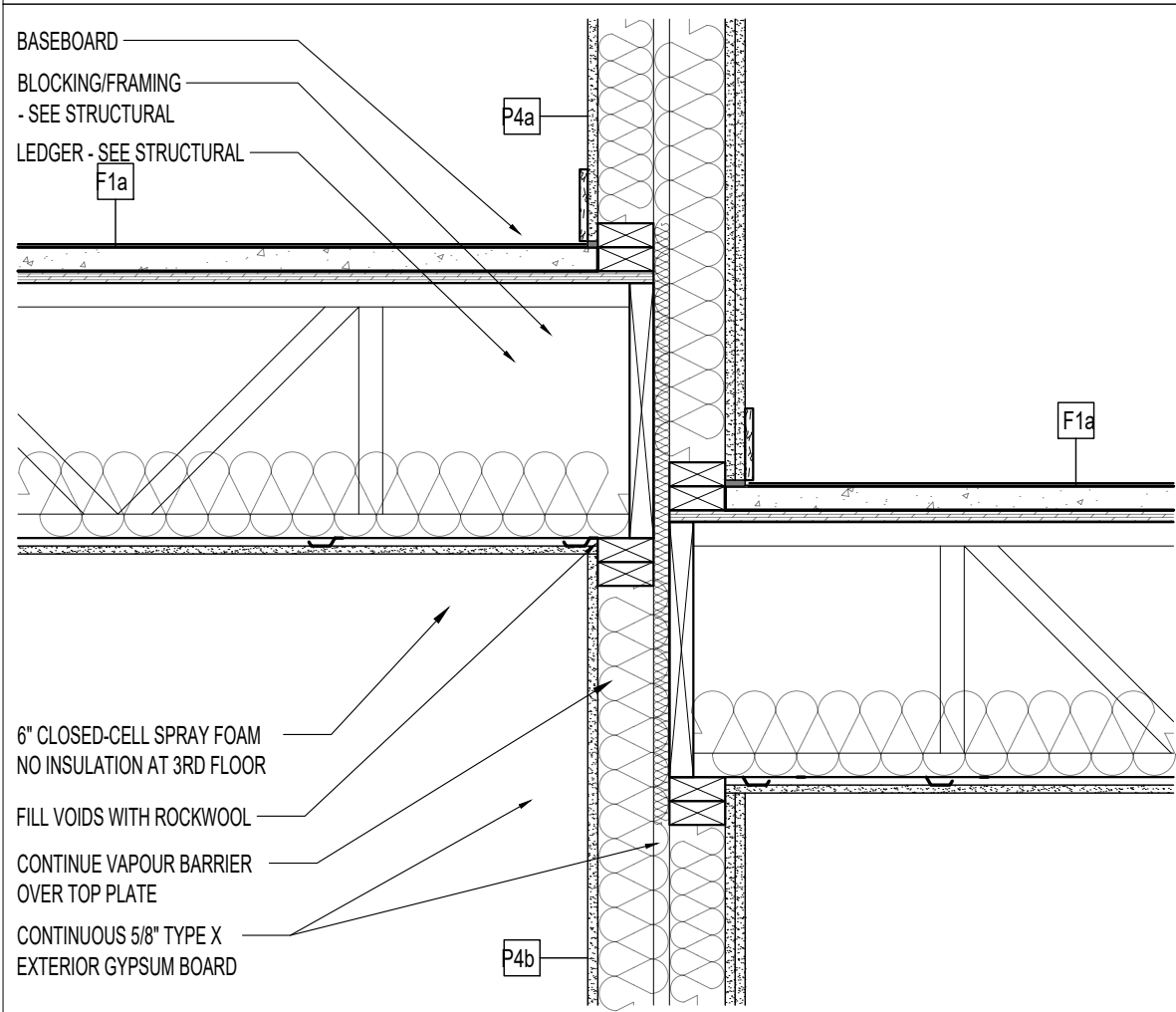
6 WALL SECTION - FLOOR AT DEMISING WALL SCALE: 1"=1'-0"



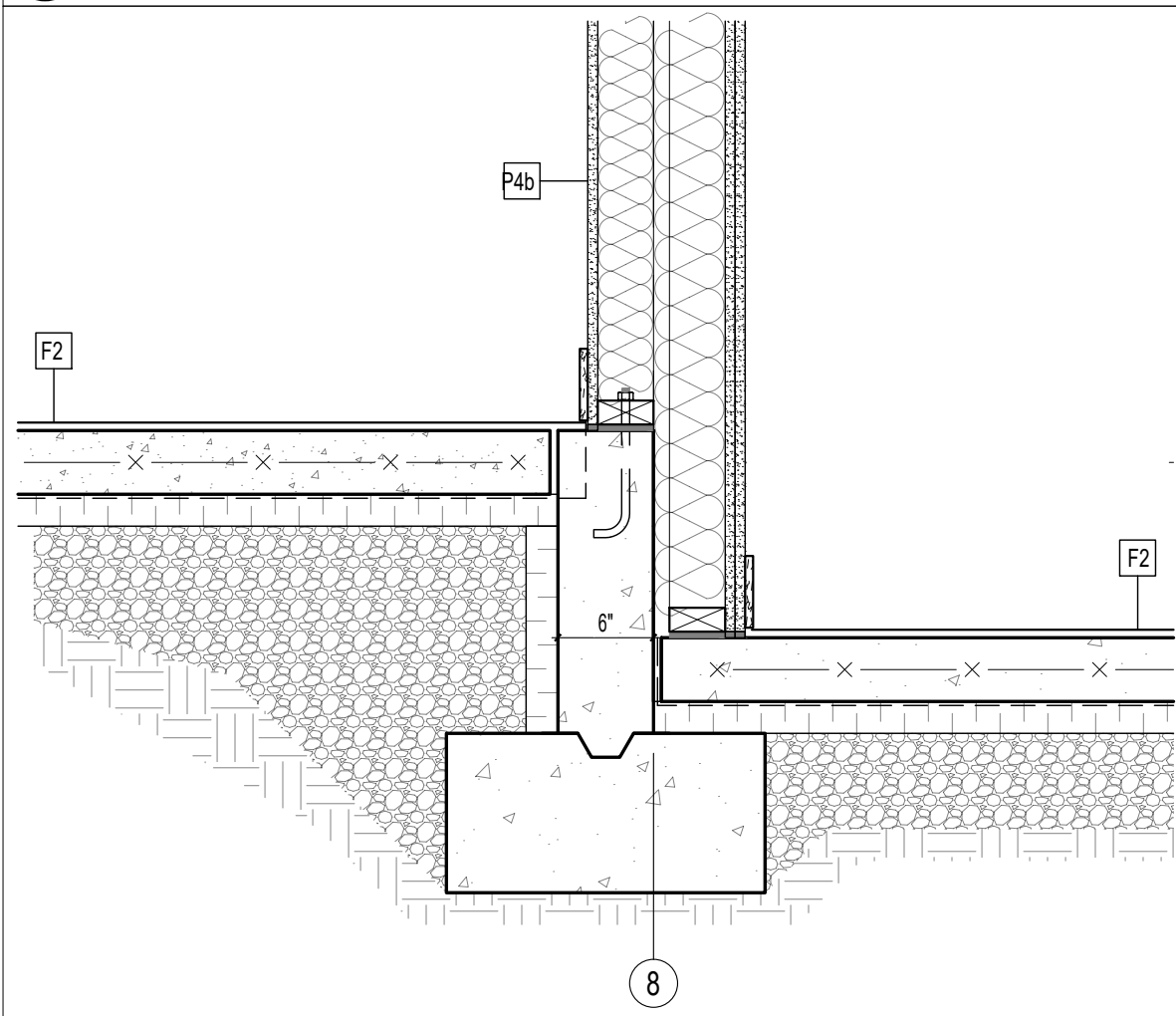
7 WALL SECTION - SLAB AT DEMISING WALL SCALE: 1"=1'-0"



11 WALL SECTION - ROOF AT DEMISING STEP SCALE: 1"=1'-0"



12 WALL SECTION - FLOOR AT DEMISING STEP SCALE: 1"=1'-0"



13 WALL SECTION - DEMISING STEP SCALE: 1"=1'-0"

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P1a EXTERIOR WALL - CLADDING 1 TBD

- FIBER CEMENT SIDING
- 1/2" STRAPPING @ MANUFACTURER SPEC - VERT.
- WATER RESISTIVE AIR BARRIER - SELF-ADHERED - VAPOUR PERMEABLE
- 7/16" OSB SHEATHING
- 2x6" WOOD STUDS - SEE STRUCTURAL
- R24 FIBERGLASS BATT INSULATION
- 6-MIL POLY VAPOUR BARRIER - TAPED & SEALED
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 1H
SOUND TRANSMISSION RATING: N/A
LISTING: NBC EW1a

P1b EXTERIOR WALL - CLADDING 2 TBD

- VINYL SIDING
- WATER RESISTIVE AIR BARRIER - SELF-ADHERED - VAPOUR PERMEABLE
- 7/16" OSB SHEATHING
- 2x6" WOOD STUDS - SEE STRUCTURAL
- R24 FIBERGLASS BATT INSULATION
- 6-MIL POLY VAPOUR BARRIER - TAPED & SEALED
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 1H
SOUND TRANSMISSION RATING: N/A
LISTING: NBC EW1a

P1c EXTERIOR WALL - APPLIED STONE

- APPLIED STONE VENEER
- SCRATCH COAT AND WIRE LATH
- STUCCO AND STONE MEMBRANE
- WATER RESISTIVE AIR BARRIER - SELF-ADHERED - VAPOUR PERMEABLE
- 7/16" OSB SHEATHING
- 2x6" WOOD STUDS - SEE STRUCTURAL
- R24 BATT INSULATION - ULC LISTED
- 6-MIL POLY VAPOUR BARRIER - TAPED & SEALED
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 1H
SOUND TRANSMISSION RATING: N/A
LISTING: NBC EW1a

P2 FOUNDATION WALL

- CONCRETE WALL - VARIES SEE STRUCTURAL
- 2" XPS RIGID INSULATION

FIRE RESISTANCE RATING: N/A
SOUND TRANSMISSION RATING: N/A
LISTING: N/A

P3 FIREWALL - LOAD BEARING

- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED
- 2x4" WOOD STUDS - SEE STRUCTURAL
- BATT INSULATION - ULC LISTED
- 1" AIR SPACE
- 8" CONCRETE BLOCK WALL - SEE STRUCTURAL
- 1" AIR SPACE
- BATT INSULATION - ULC LISTED
- 2x4" WOOD STUDS - SEE STRUCTURAL
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 3H
STC: 71
LISTING: NBC B8a

P4a DEMISING WALL - LOAD BEARING

- (2) 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED
- 2x6" WOOD STUDS STAGGERED - SEE STRUCTURAL
- 2x6" TOP AND BOTTOM PLATES
- BATT INSULATION - ULC LISTED
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 1H
SOUND TRANSMISSION RATING: STC 52
LISTING: NBC W8a

P4b DEMISING WALL - LOAD BEARING

- (2) 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED
- 2x6" WOOD STUDS STAGGERED - SEE STRUCTURAL
- 2x6" TOP AND BOTTOM PLATES
- BATT INSULATION - ULC LISTED
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 1H
SOUND TRANSMISSION RATING: STC 57
LISTING: NBC W13a

P4c INTERIOR WALL - SERVICE ROOM

- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED
- 2x6" WOOD STUDS @ 16" O.C.
- BATT INSULATION - ULC LISTED
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 1H
SOUND TRANSMISSION RATING: STC 36
LISTING: NBC W1a

P5a INTERIOR WALL - PARTITION TYP.

- 1/2" GYPSUM BOARD - PRIMED & PAINTED
- 2x4" WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD - PRIMED & PAINTED

NOTE:
TYPICAL INTERIOR SUITE PARTITION UNLESS NOTED OTHERWISE

FIRE RESISTANCE RATING: N/A
SOUND TRANSMISSION RATING: N/A
LISTING: N/A

P5b INTERIOR WALL - PARTITION

- 5/8" GYPSUM BOARD - PRIMED & PAINTED
- 2x6" WOOD STUDS @ 16" O.C.
- BATT INSULATION - ULC LISTED
- 5/8" GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: N/A
SOUND TRANSMISSION RATING: N/A
LISTING: N/A

P6a INTERIOR WALL - ELECTRICAL CHASE

- 1/2" GYPSUM BOARD - PRIMED & PAINTED
- 2x4" WOOD STUDS @ 16" O.C.

FIRE RESISTANCE RATING: N/A
SOUND TRANSMISSION RATING: N/A
LISTING: N/A

P6b INTERIOR WALL - PLUMBING CHASE

- 1/2" GYPSUM BOARD - PRIMED & PAINTED
- 2x6" WOOD STUDS @ 16" O.C.

FIRE RESISTANCE RATING: N/A
SOUND TRANSMISSION RATING: N/A
LISTING: N/A

F1a FLOOR SYSTEM - TYPICAL

- FLOORING PER SPEC
- 1-1/2" CONCRETE TOPPING
- 3/4" OSB SHEATHING - GLUED AND NAILED
- 16" ENGINEERED FLOOR JOIST
- ACOUSTIC BATT INSULATION - ULC LISTED
- RESILIENT CHANNEL @ 16" O.C.
- 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 45MIN
SOUND TRANSMISSION RATING: 56
IMPACT INSULATION CLASS: 31
LISTING: NBC F20a

F1b FLOOR SYSTEM - TYPICAL

- FLOORING PER SPEC
- 1-1/2" CONCRETE TOPPING
- 3/4" OSB SHEATHING - GLUED AND NAILED
- 16" ENGINEERED FLOOR JOIST
- ACOUSTIC BATT INSULATION - ULC LISTED
- RESILIENT CHANNEL @ 16" O.C.
- (2) 5/8" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 1H
SOUND TRANSMISSION RATING: 60
IMPACT INSULATION CLASS: 33
LISTING: NBC F21a

F2 CONCRETE SLAB

- FLOORING PER SPEC
- CONCRETE SLAB W/ WWM - SEE STRUCTURAL
- 10-MIL POLY VAPOUR BARRIER - TAPED & SEALED
- 2" XPS RIGID INSULATION
- COMPACTED CRUSHED STONE - SEE STRUCTURAL

FIRE RESISTANCE RATING: N/A
SOUND TRANSMISSION RATING: N/A
IMPACT INSULATION CLASS: N/A
LISTING: N/A

R1 ROOF SYSTEM - TYPICAL

- FIBERGLASS SHINGLES
- ROOF UNDERLAYMENT
- 3/4" PLYWOOD DECKING W/ H-CLIPS
- ENGINEERED ROOF TRUSSES
- 6-MIL POLY VAPOUR BARRIER - TAPED & SEALED
- 1x2" WOOD STRAPPING @ 16" O.C.
- (2) 1/2" TYPE X GYPSUM BOARD - PRIMED & PAINTED

FIRE RESISTANCE RATING: 45MIN
SOUND TRANSMISSION RATING: N/A
LISTING: APPENDIX D-2.3.12.

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COVERDALE 18's
775 COVERDALE ROAD, RIVERVIEW, NB

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BUILDING ASSEMBLIES & SCHEDULES

A4.1

PROJECT # _____ BD-2503

DATE _____ 2025-06-06

DRAWN BY _____ S. BANNISTER

1 BUILDING ASSEMBLIES

SCALE: 1" = 1'-0"

FLOOR

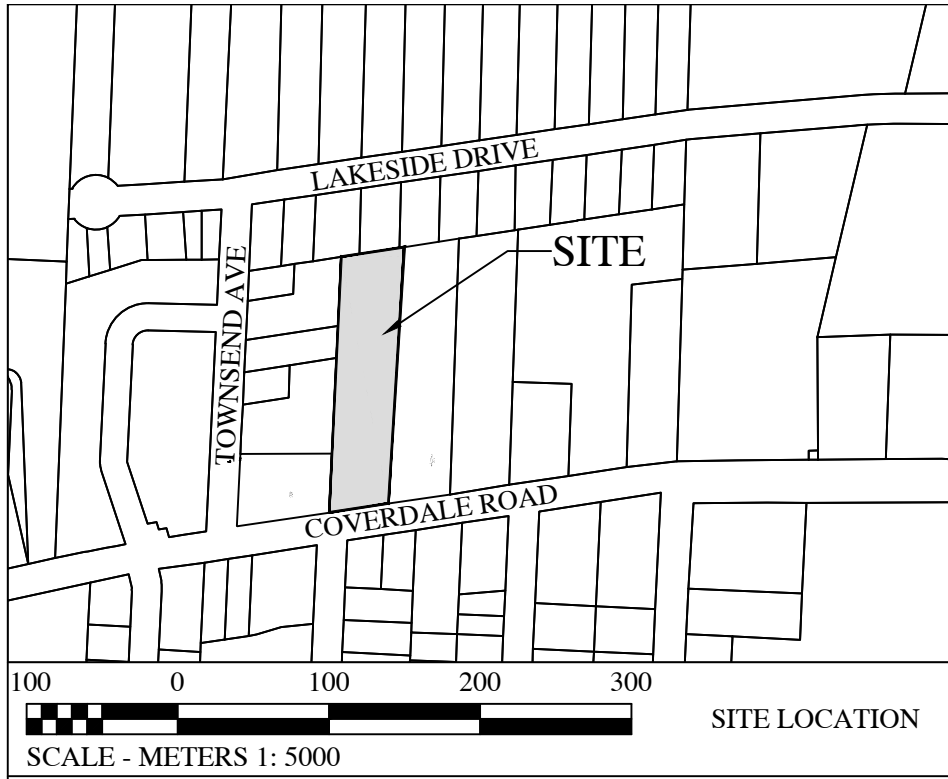
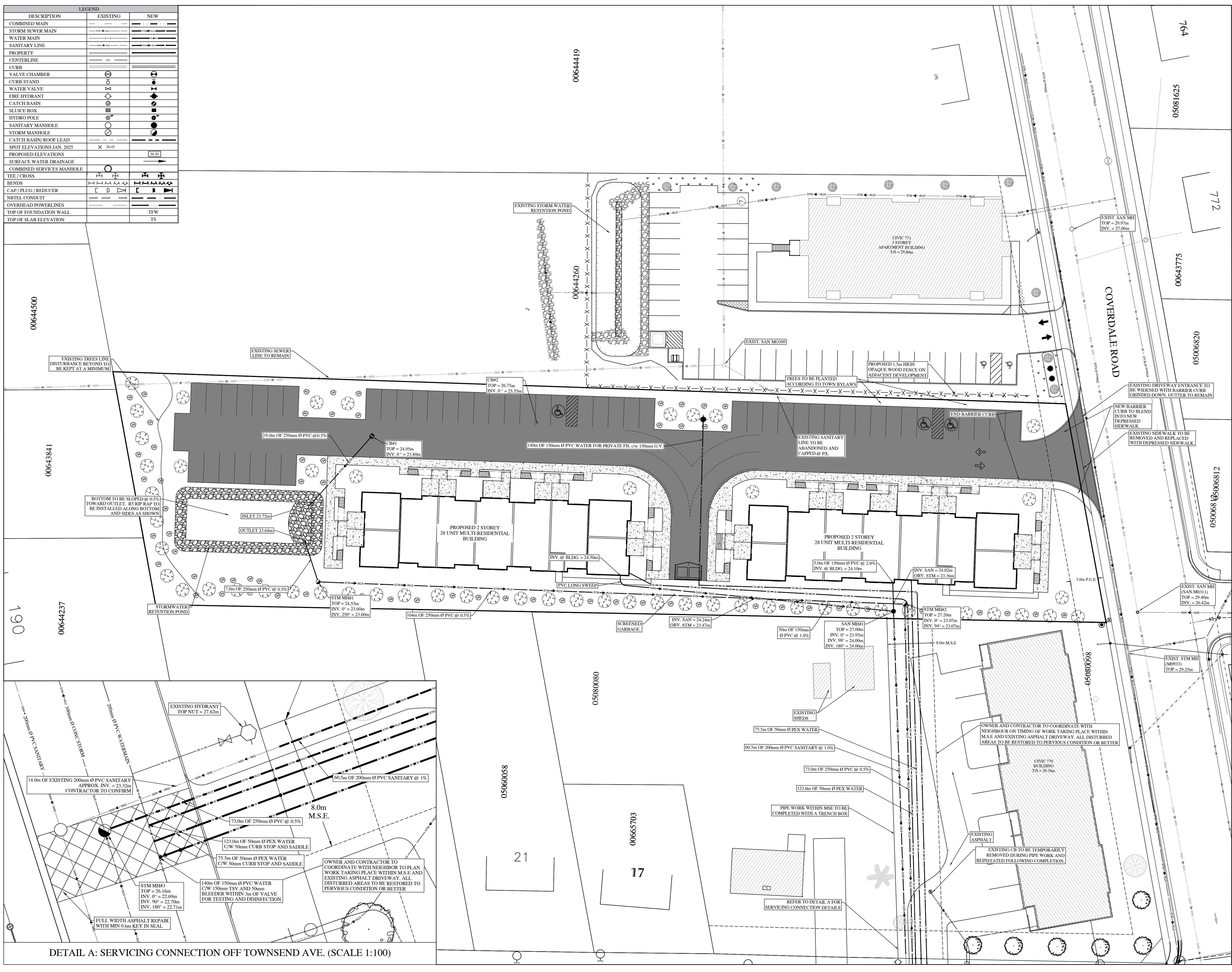
(W1)
QTY = TBD

VINYL WINDOW FRAME W1 1-1/2" BRICKMOLD COLOUR BY DESIGNER
SEE ELEVATIONS FOR OPERATORS, GRILLS AS DRAWN
THERMAL PANIE, LOW-E ARGON GLAZING
MAXIMUM OVERALL THERMAL TRANSMITTANCE = 1.9 U-VALUE
WINDOWS LESS THAN 900 MM ABOVE THE FLOOR AND MORE THAN 1.8 M ABOVE GRADE MUST HAVE OPENINGS LIMITED TO 100 MM MAXIMUM

3 WINDOW SCHEDULE

SCALE: 1/4"=1'-0"

LEGEND		
DESCRIPTION	EXISTING	NEW
COMBINED MAIN	---	---
STORM SEWER MAIN	---	---
WATER MAIN	---	---
SANITARY LINE	---	---
PROPERTY	---	---
CENTERLINE	---	---
CURB	---	---
VALVE CHAMBER	---	---
CURB STAND	---	---
WATER VALVE	---	---
FIRE HYDRANT	---	---
CATCH BASIN	---	---
SLUICE BOX	---	---
HYDRO POLE	---	---
SANITARY MANHOLE	---	---
STORM MANHOLE	---	---
CATCH BASIN/ ROOF LEAD	---	---
SPOT ELEVATIONS JAN. 2025	X 20.45	
PROPOSED ELEVATIONS		20.20
SURFACE WATER DRAINAGE		
COMBINED SERVICES MANHOLE		
TEE / CROSS	---	---
BENDS	---	---
CAP / PLUG / REDUCER	---	---
NBTEL CONDUIT	---	---
OVERHEAD POWER LINES	---	---
TOP OF FOUNDATION WALL		TSW
TOP OF SLAB ELEVATION		TS



Notes:

- Base Site Plan provided by Bannister Design dated 09-04-25.
- All work is to conform to the Town of Riverview Standard Municipal Specifications, latest revision.
- Contractor required to locate all existing services and confirm invert elevations with engineer.
- All elevations are in reference to CAN-NET NB Geodetic datum (NAD83/CRS 2010).
- Full time inspection by the engineering design firm is recommended for the installation of all underground infrastructure.
- Record drawings to be submitted to the public works department following construction.
- A lateral service hook-up by the Town's public works department is required prior to backfilling the lateral connections to the mainlines.
- Gutter is to be kept through proposed driveway. Existing barrier curb at driveway is to be grinded down and sidewalk depressed.
- Barrier curb to be installed around the perimeter of the parking lot as shown.

Erosion Control:

- All work is to follow the Town of Riverview Guidelines for Erosion and Sediment Control at Construction Sites.
- During work on the site, the following items must be completed:
 - Siltation fence must be erected around the perimeter of the disturbed area prior to start of construction, and routinely monitored throughout project.
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- Contractor is responsible for dust control, mud and dirt removal on Coverdale Road. A stabilized entrance/exit complete with clear stone/gravel is recommended to help prevent tracking of mud & dirt onto Coverdale Road if the existing driveway is not used during construction.

ADDITIONAL NOTES ON C-3

Sheet Index:		
Drawing Number	Drawing Title	
C-1	Site Servicing Plan	
C-2	Site Drainage and Erosion Control Plan	
C-3	Construction Notes and Details	

No.	Issue	Date
1	FOR PAC APPLICATION	JULY 2025
2	FOR PAC APPLICATION - UPDATED PLAN	SEPT. 2025
3		



FISHER
ENGINEERING LTD.

40 Fairfield Road
Lower Coverdale, New Brunswick E1J 0A2
Phone: 506 . 863 . 1991


Project Title

SITE SERVICING PLAN

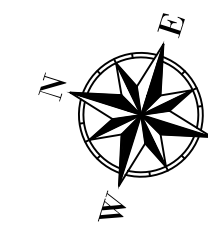
Drawing Title

CONSTRUCTION NOTES AND DETAILS

Project No.	DS646
Dwg. No.	DS64606R1
Rev.	1
Scale:	6 0 6 12 18
SCALE - METERS 1: 300	

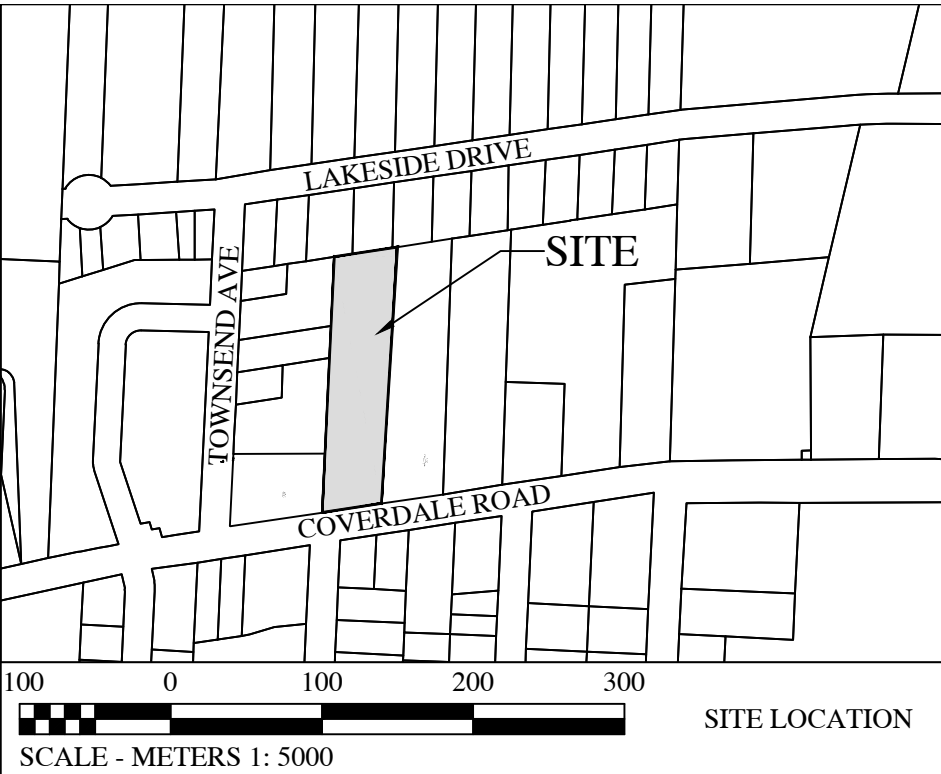
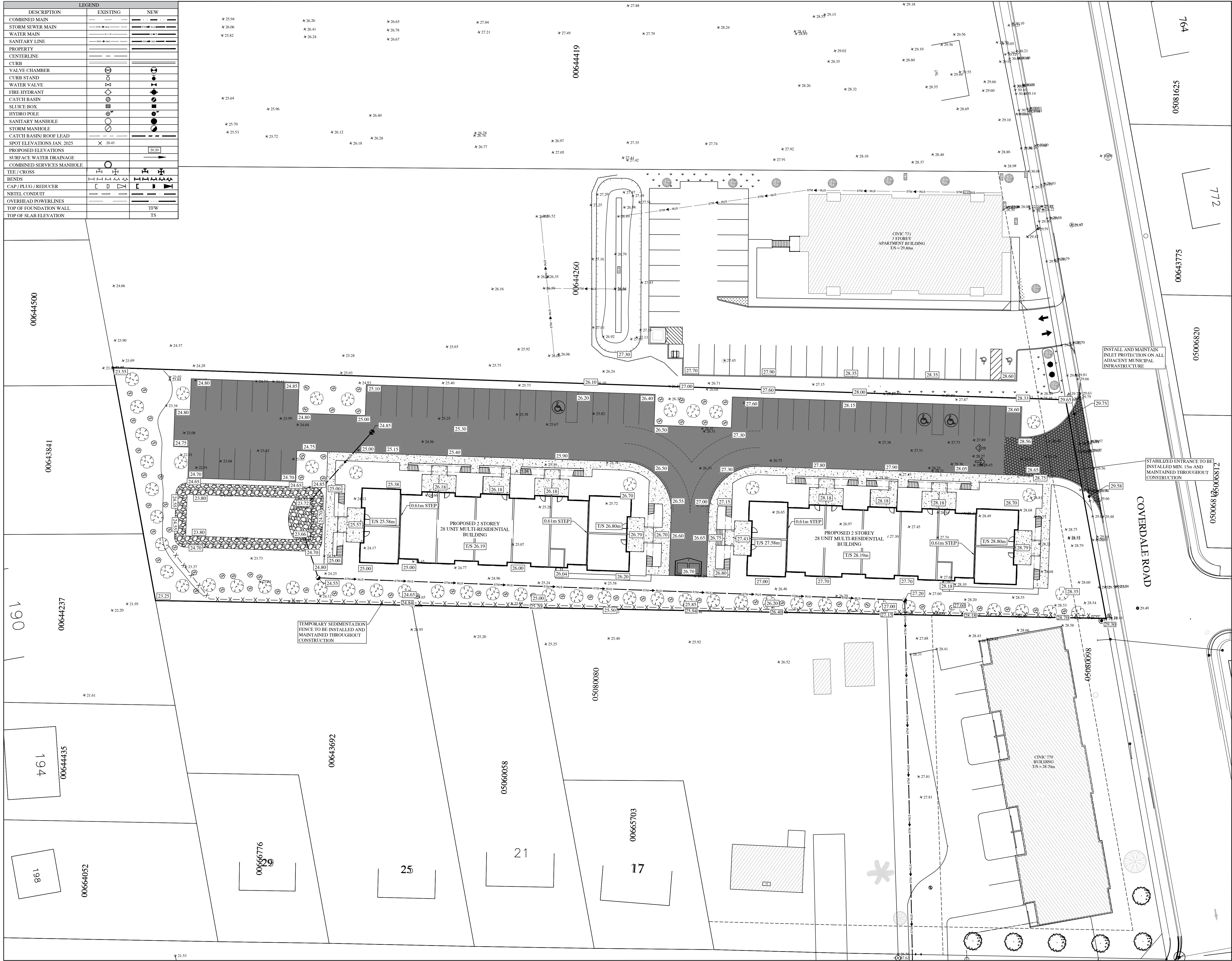


Const. North



Drawn By: ACB
Designed By: MJF
DWG. Design Ckd. By: MJF
Drawing Number: C-1

LEGEND		
DESCRIPTION	EXISTING	NEW
COMBINED MAIN	---	---
STORM SEWER MAIN	---	---
WATER MAIN	---	---
SANITARY LINE	---	---
PROPERTY	---	---
CENTERLINE	---	---
CURB	---	---
VALVE CHAMBER	---	---
CURB STAND	---	---
WATER VALVE	---	---
FIRE HYDRANT	---	---
CATCH BASIN	---	---
SLUICE BOX	---	---
HYDRO POLE	---	---
SANITARY MANHOLE	---	---
STORM MANHOLE	---	---
CATCH BASIN/ ROOF LEAD	---	---
SPOT ELEVATIONS JAN. 2025	X 20.45	
PROPOSED ELEVATIONS		[20.20]
SURFACE WATER DRAINAGE		→
COMBINED SERVICES MANHOLE	---	---
TEE / CROSS	---	---
BENDS	---	---
CAP / PLUG / REDUCER	---	---
NBTEL CONDUIT	---	---
OVERHEAD POWERLINES	---	---
TOP OF FOUNDATION WALL		TFW
TOP OF SLAB ELEVATION		TS



Notes:

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ADDITIONAL NOTES ON C-3

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No.	Issue	Date
1	FOR PAC APPLICATION	JULY 2025
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3		



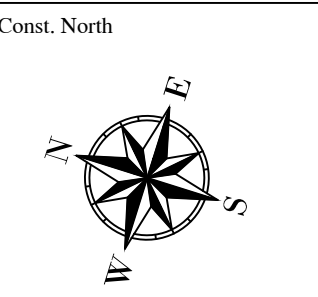
Project Title

**SITE DRAINAGE PLAN
AND
EROSION CONTROL PLAN**

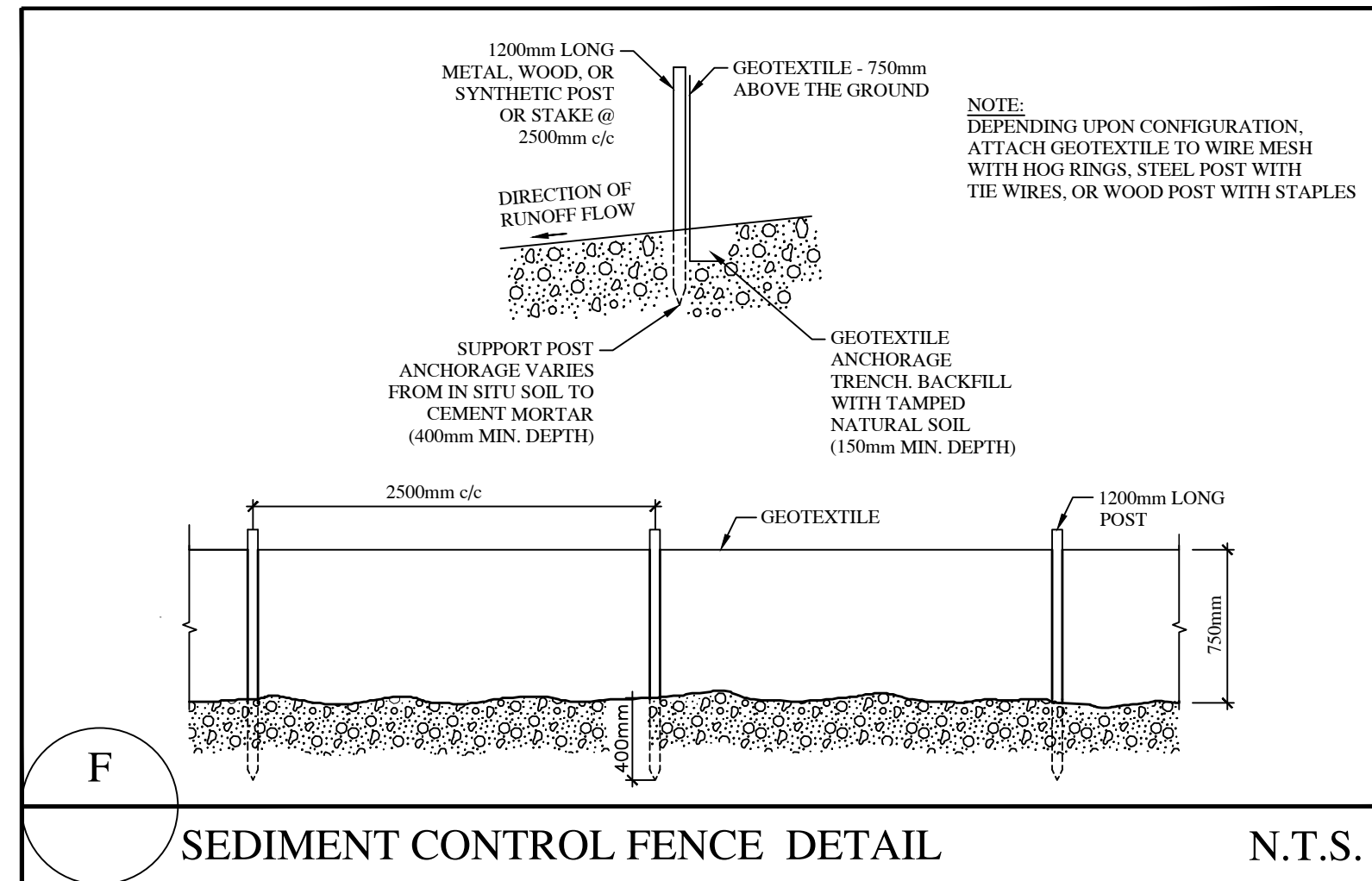
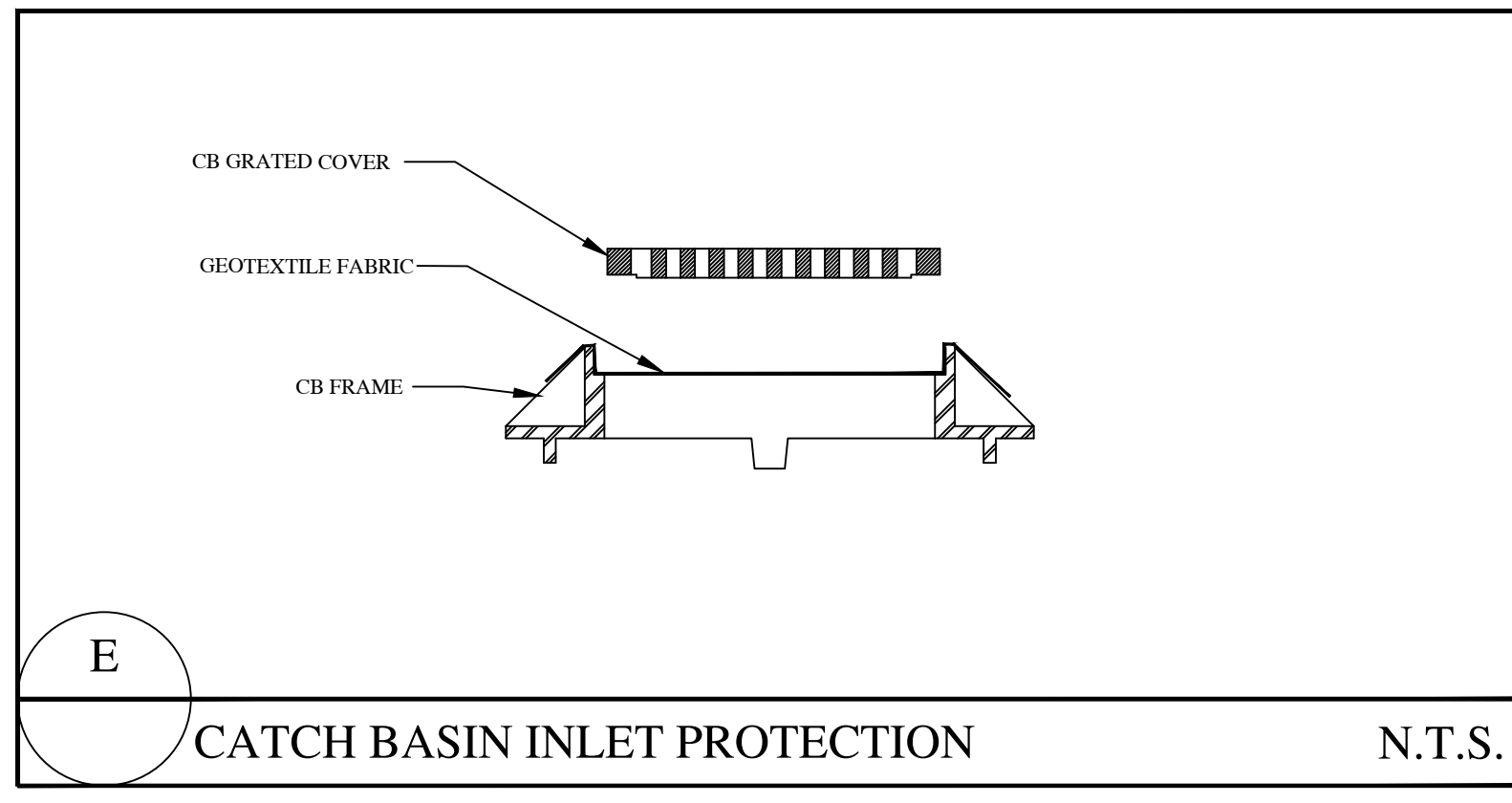
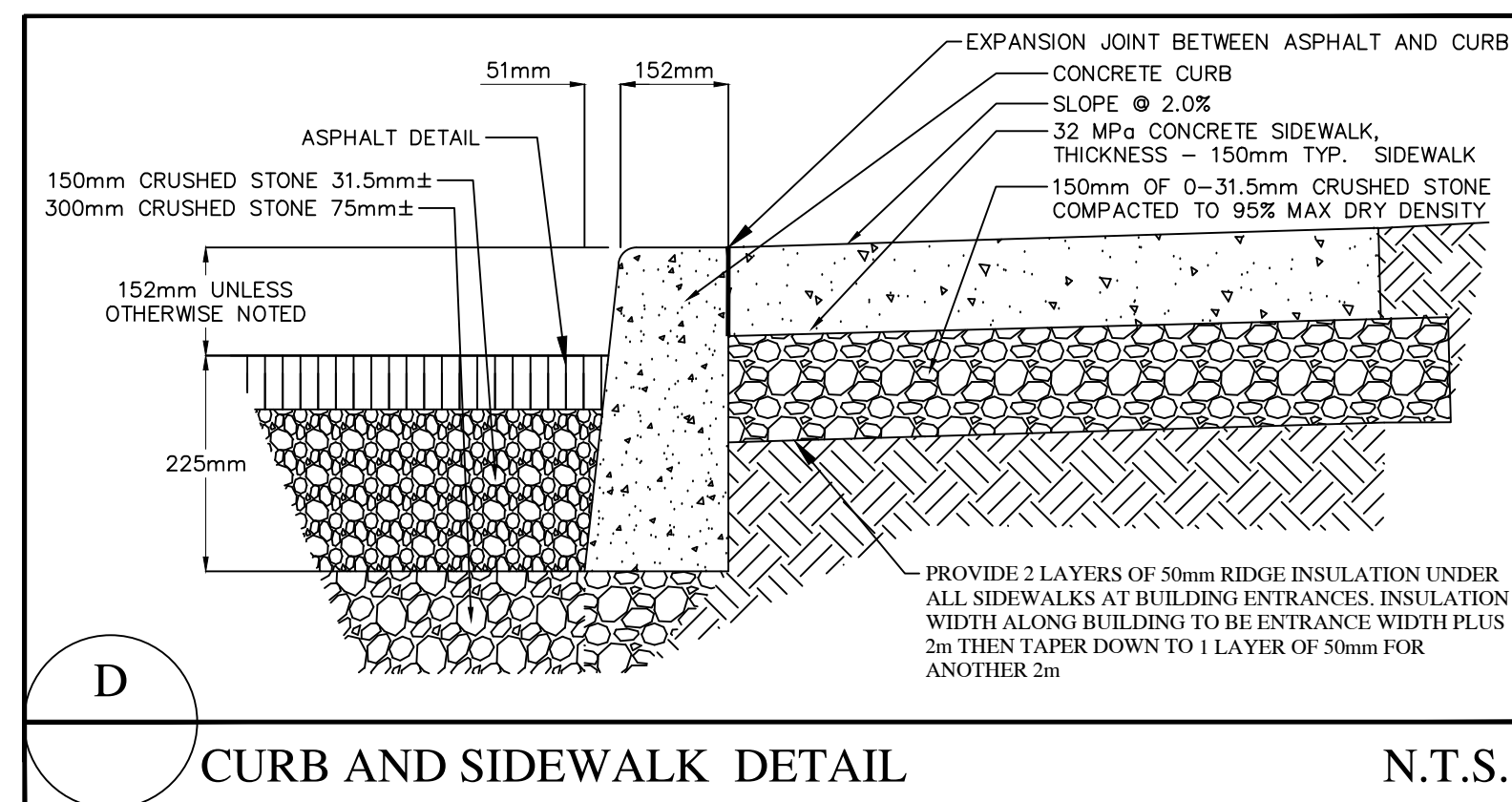
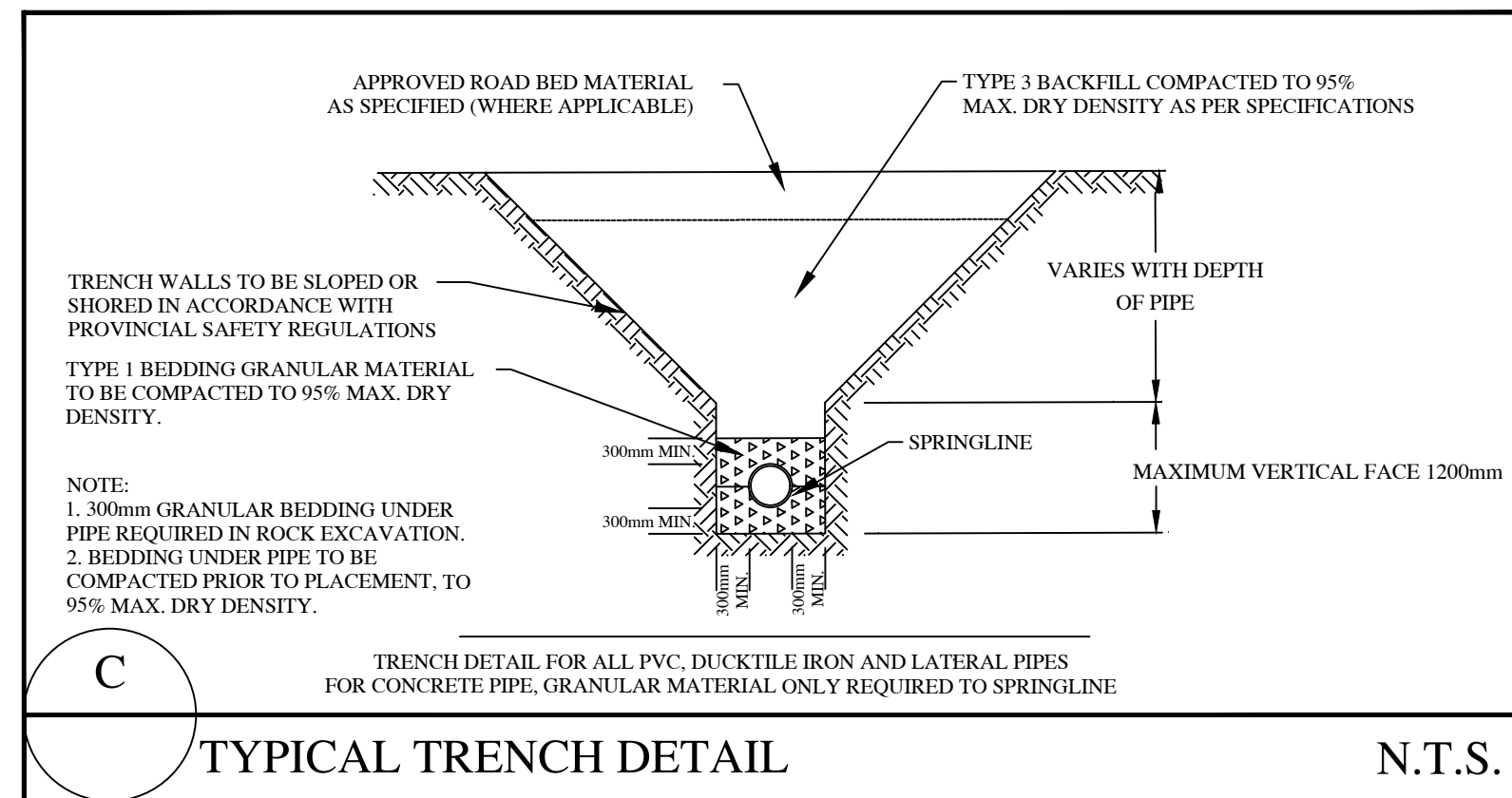
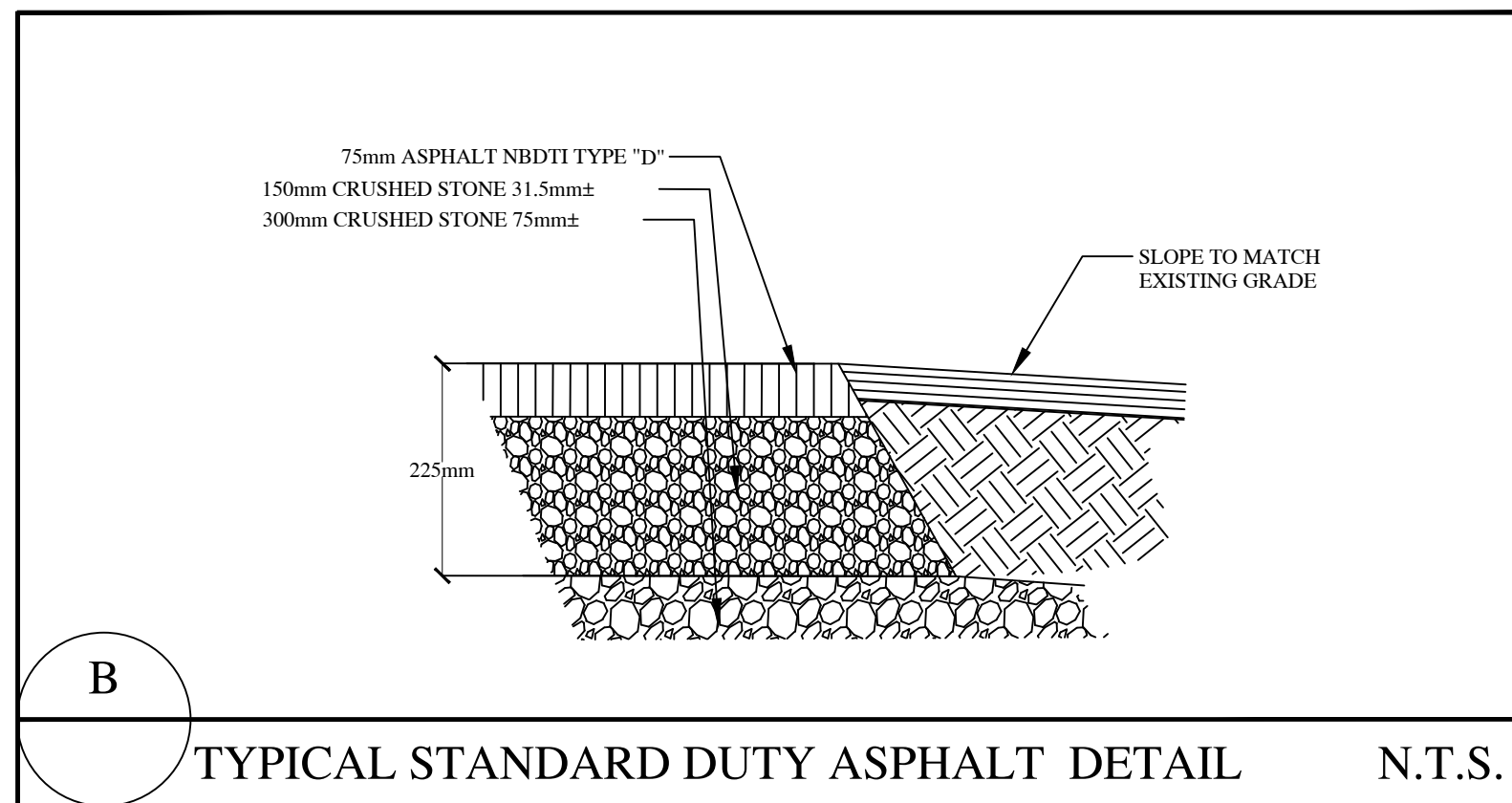
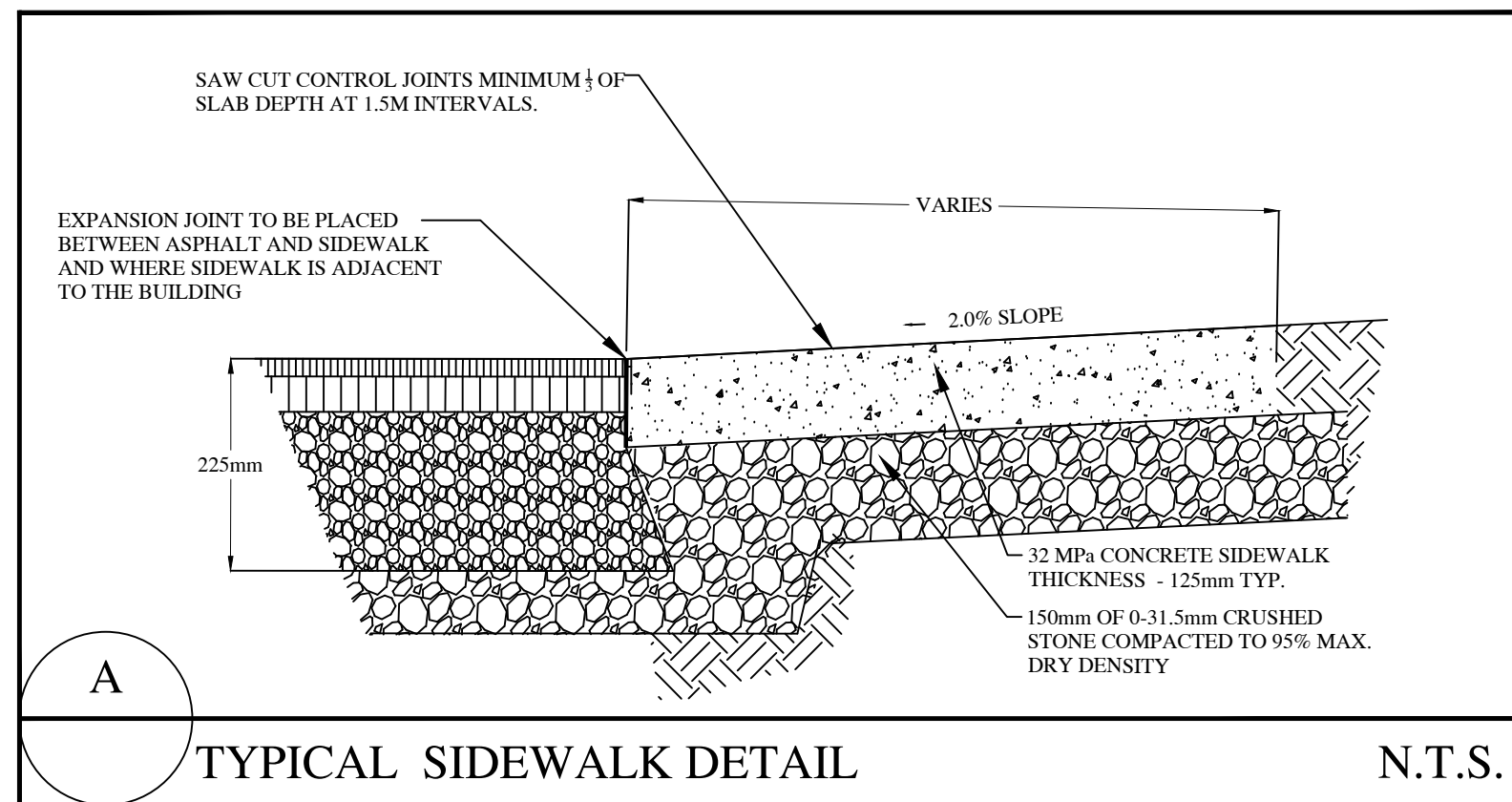
Drawing Title

**CONSTRUCTION NOTES AND
DETAILS**

Project No.	DS646	
Dwg. No.	DS64606R1	Rev. 1
Scale:	6 0 6 12 18 SCALE - METERS 1: 300	



Drawn By: ACB
Designed By: MJF
DWG. Design Ckd. By: MJF
Drawing Number: C-2

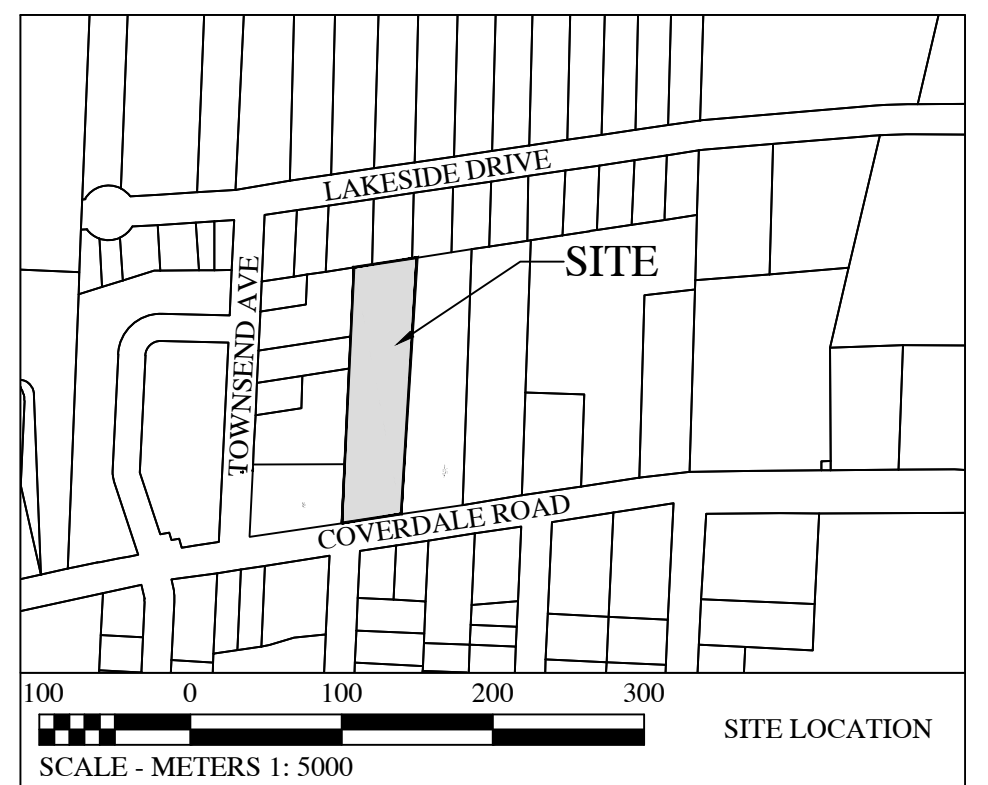
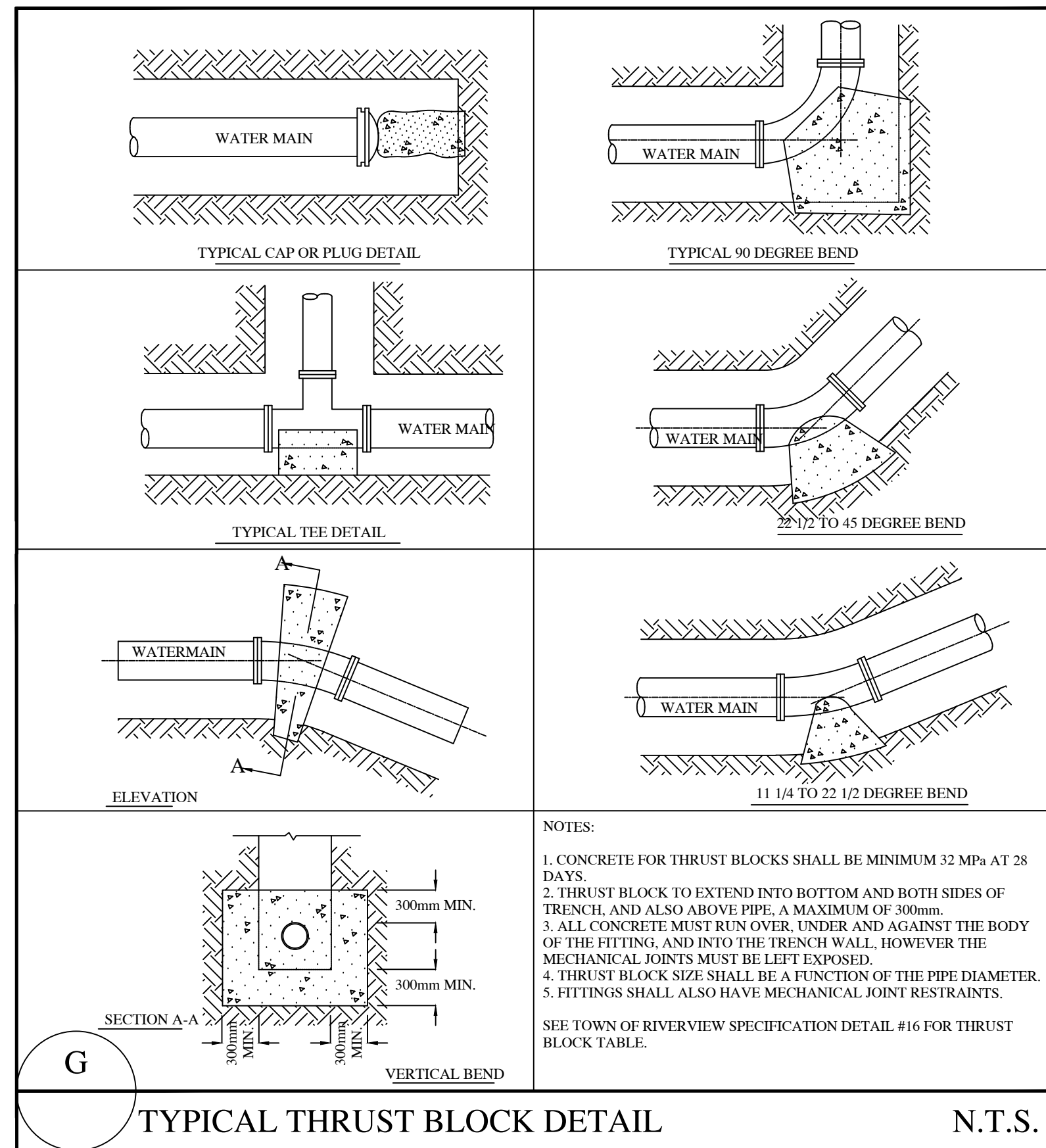


NOTES

- All work is to conform to the Town of Riverview Standard Municipal Specifications, latest revision.
- If a detail is not provided then refer to Town of Riverview Standard Municipal Specifications.
- Contractor is responsible to ensure that the work is carried out in accordance with N.B. Occupational Health and Safety Act.
- Contractor to possess on site all necessary permits prior to commencing work. Contractor to comply with all requirements and conditions of permits.
- Contractor to provide the Engineer with a proposed construction schedule prior to commencing work.
- All elevations are in reference to NB geodetic datum 28155 Elevation = 47.166m. (NAD83/HIT2, D).
- Contractor to confirm horizontal location and vertical elevations of all existing services prior to commencing work. Contractor to immediately report any discrepancies to the Engineer.
- Contractor may not substitute any materials unless approved by the Engineer.
- Contractor to provide necessary grading and dust control for roadways and construction site requirements.
- The contractor is responsible for the protection of natural watercourses/drainage swales from damage due to siltation runoff from the construction site.
- Ditches, swales and ponds are to be stabilized as soon as is practical after construction. Permanent stabilization shall be completed within 30 days of construction and shall consist of: Riprap where specified on the plans or Hydrosed to Town of Riverview specifications, unless noted otherwise.
- A lateral service hook-up inspection by the Town's Public Works department is required prior to backfilling the lateral connections to the mainlines. No water turn on will take place until this hook-up inspection has been completed.
- Locations and extent of unsuitable material are unknown. Definition of unsuitable material to be defined by Geotechnical Engineer. Contractor is responsible to revise site conditions in a manner that is suitable to identify location and extent of unsuitable material. Contractor is responsible for removal and disposal of unsuitable material and replacement with material approved by the Geotechnical Engineer.
- All disturbed areas, including the temporary construction road shall be reinstated, as soon as possible, to previous condition or better.
- Contact Town's Public Works Department prior to construction for application for a lateral service and deposit.

WATER:

- Contractor is responsible for the testing and disinfection of water mains to Town of Riverview Standards.
- Under no circumstances shall the contractor operate existing water valves or make connections to the existing water system without prior approval of the Town of Riverview Public Works Department.
- All water laterals, 100mm and greater in diameter, installed must be pressure tested and disinfected to the Town of Riverview Standards Municipal Specifications and results submitted to the Public Works department with a stamped letter stating that all tests have passed and full time inspection was done. Once completed, the test before water laterals are disinfected or turned on by the Town, Town's Public Works Department must be notified one week in advance with the testing results before water main can be disinfected.
- The water service lateral for fire protection (sprinkler), from the property line to the building, shall follow the NFPA 13 Standards. This includes the required 200psi pressure test.



Notes:

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- Contractor required to locate all existing services and confirm invert elevations with engineer.
- All elevations are in reference to CAN-NET NB Geosodic datum (NAD83/MSRS 2011).
- Full time inspection by the engineering design firm is recommended for the installation of all underground infrastructure.
- Record drawings to be submitted to the public works department following construction.
- A lateral service hook-up by the Town's public works department is required prior to backfilling the trench and connections to the manholes.
- Gutter is to be kept through proposed driveway. Existing barrier curb at driveway is to be grinded down and sidewalk depressed.
- Barrier curb to be installed around the perimeter of the parking lot as shown.

Erosion Control:

- All work is to follow the Town of Riverview Guidelines for Erosion and Sediment Control at Construction Sites.
- During work on the site, the following items must be completed:
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No.	Issue	Date
1	FOR PAC APPLICATION	JULY 2025
2	FOR PAC APPLICATION - UPDATED PLAN	SEPT. 2025
3		



Project Title

28 UNIT MULTI-RES. DEVELOPMENT
775 COVERDALE RD
RIVERVIEW, N.B.

Drawing Title

CONSTRUCTION NOTES AND DETAILS

Project No.	DS646
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Dwg. No.	DS64606R1	Rev.	1
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Scale:	AS NOTED
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Const. North

Drawn By: **ACB**

Designed By: MIE

DWG. Design MIE

Drawing Number: C 3

