


STAFF REPORT

File number: 25-1468

From :

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Planner

 Subject Property



12.1 Signage Policies

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Electronic message signs are increasing in popularity throughout our community. What used to be single-colour incandescent screens, typically used to broadcast time and temperature, have grown into dynamic displays using picture-quality resolution allowing unlimited options for businesses to advertise their goods and services. However, this introduces new elements potentially affecting the visual character and safety of our streets.

Depending on the street type and the built form, signage can contribute to enhancing the streetscape or detracting from it. Good design is often said to be subjective; however, proper attention to context and location is very real and objective. The Town's role is to find a balance which allows businesses and other organizations to advertise their offerings, while at the same time, maintain standards of public safety and community aesthetics.

OBJECTIVES

It is an objective of Council to:

1. Recognize the benefits of ensuring a quality streetscape throughout the Town.
2. Recognize the impact of signage on the streetscape and adjacent land uses.
3. Recognize the importance of signage for businesses and other organizations to communicate their brand or offerings.
4. Recognize the need for a new approach in regulating electronic message signs.
5. Ensure that public safety and community aesthetics are not compromised by signage.

Policy 12.1.4 In order to ensure community aesthetics and public safety, Council shall direct the PAC to have special attention to the following when considering a variance or the imposition of terms and conditions for certain types of signs in sensitive locations:

- (a) Ensuring there is no conflict with traffic control devices;
- (b) Design criteria and features to ensure the signage is sensitive to its context and location;
- (c) Ensuring potential light pollution and light trespass into adjacent sensitive land uses is mitigated;
- (d) Protecting special view line and heritage building and sites; and
- (e) The impact of the sign on the streetscape.

Zoning Bylaw and or Subdivision By-law Regulation

Definitions

“electronic message sign” means a sign that uses changing lights to form a sign message or messages in which the sequence of messages and the rate of change can be electronically programmed or modified.

“electronic static copy” means a sign copy displayed utilizing electronic screens, televisions, computer video monitors, liquid crystal displays, light emitting diode displays, or any other similar electronic technology where the sign copy is fixed for a set period of time, but does not include gas price indicators.

“freestanding sign” means a sign supported independently of a building and permanently fixed to the ground.

Freestanding signs

94(1) Except in a residential zone, a freestanding sign is permitted subject to the following:

- (a) it shall not exceed 15 metres in height;
- (b) it shall not exceed 10 square metres in area;
- (c) despite subsection 94(1)(b), in the case of a lot containing three or more businesses, it shall not exceed 20 square metres in area; and
- (d) no more than one freestanding sign shall be permitted for every 100 metres of lot frontage.

Electronic message signs

100.1(1) A sign with an electronic static copy may be used as part of a freestanding sign, wall sign,

projecting sign, canopy sign, or directory sign subject to the following standards:

- (a) the sign shall be a permitted use in the SC, CM and I Zones;
- (b) the sign shall be a particular purpose, subject to terms and conditions as per Municipal Plan Policy 12.1.4, RBS Zone, NC Zone, PRI Zone, OS Zone, ID Zone, or within 30m of any residential zone;
- (c) the message duration shall not be less than 20 seconds;
- (d) the message transition shall be instantaneous;
- (e) message transition shall not involve any visible effects including but not limited to scrolling, fading, dissolving, intermittent or flashing light, or the illusion of such effects;
- (f) brightness levels of the sign do not exceed 3.23 lux above ambient light conditions measured at a distance which is determined by the square root of the sign area multiplied by 100;
- (g) the sign shall use automatic dimming technology which automatically adjusts the sign copy's brightness in direct correlation with ambient light conditions; and
- (h) the sign shall be turned off in the case of a malfunction.

100.1(2) The portion of the sign devoted to an electronic static copy shall not exceed 50 percent of the maximum allowable area.

100.1(3) The application for a development permit shall include an acknowledgement by the owner of the sign that the sign is capable of meeting the conditions in subsections 100.1(1) and 100.1(4).

Electronic message sign limitations

100.1(4) Electronic static copy shall not be illuminated between the hours of 11:00 p.m. and 7:00 a. m., unless the business is open or in operation during those hours.

Internal Consultation & External Consultation

The Development Review Committee (Fire, Engineering and Public Works, Parks, and CAO) did not raise any concerns.

Engineering also discussed the application with the Traffic Manager. No issues were raised with the sign's location. There were questions/concerns around general operation of the sign such as brightness and display, which was addressed by the requirements outlined in the Zoning By-law.

Discussion

The applicant is proposing that a portion of a freestanding sign located at Riverview High (400 Whitepine Road) be converted to an electronic static copy which is subject to terms and conditions when in the PRI (Parks, Recreation, and Institutional) Zone. The application is looking to convert the existing reader board to a LED digital screen.

The electronic static copy section of the freestanding meets all zoning requirements. The remainder of the freestanding sign is existing, with the applicant outlining that the plan is to upgrade the sign and have the digital component be fitted to the existing structure.

Staff do not believe that this will have a significant impact on the streetscape due to the existing sign having a reader board component. Additionally, the design of the sign is similar to the existing sign and serves both the Riverview High School and Arts Centre, therefore, staff believe it is sensitive to its context and location.

Staff have not identified any special view line, heritage building or site, nor traffic control device that will be impacted by the proposed sign.

There are wetlands indicated on GeoNB at location of the sign and the applicant is aware that they will have to contact the Department of Environment and Local Government about a Watercourse and

Wetland Alteration Permit.

Based on the outlined information, staff believe that the request is reasonable and desirable for the property as the impacts are anticipated to be minimal in nature, and that the proposed project is within the intent of the Municipal Plan policies and Zoning By-law requirements.

Public Notice

Notices were sent out to neighbouring property owner's within a 60m buffer on September 23rd, 2025.

Legal Authority

Conditional uses

53(3) In prescribing the purposes for which land, buildings and structures in a zone may be used, a zoning by-law may: ...

(c) prescribe particular purposes ...

(i) in respect of which the advisory committee or regional service commission, subject to subsection (5), may impose terms and conditions, and

(ii) that may be prohibited by the advisory committee or regional service commission if compliance with the terms and conditions imposed under subparagraph (i) cannot reasonably be expected.

The Act also provides parameters for the PAC when imposing conditions:

53(4) Terms and conditions imposed under paragraph (3)(c) shall be limited to those considered necessary by the advisory committee or regional service commission to protect:

(a) properties within the zone or in abutting zones, or

(b) the health, safety and welfare of the general public.

Recommendation

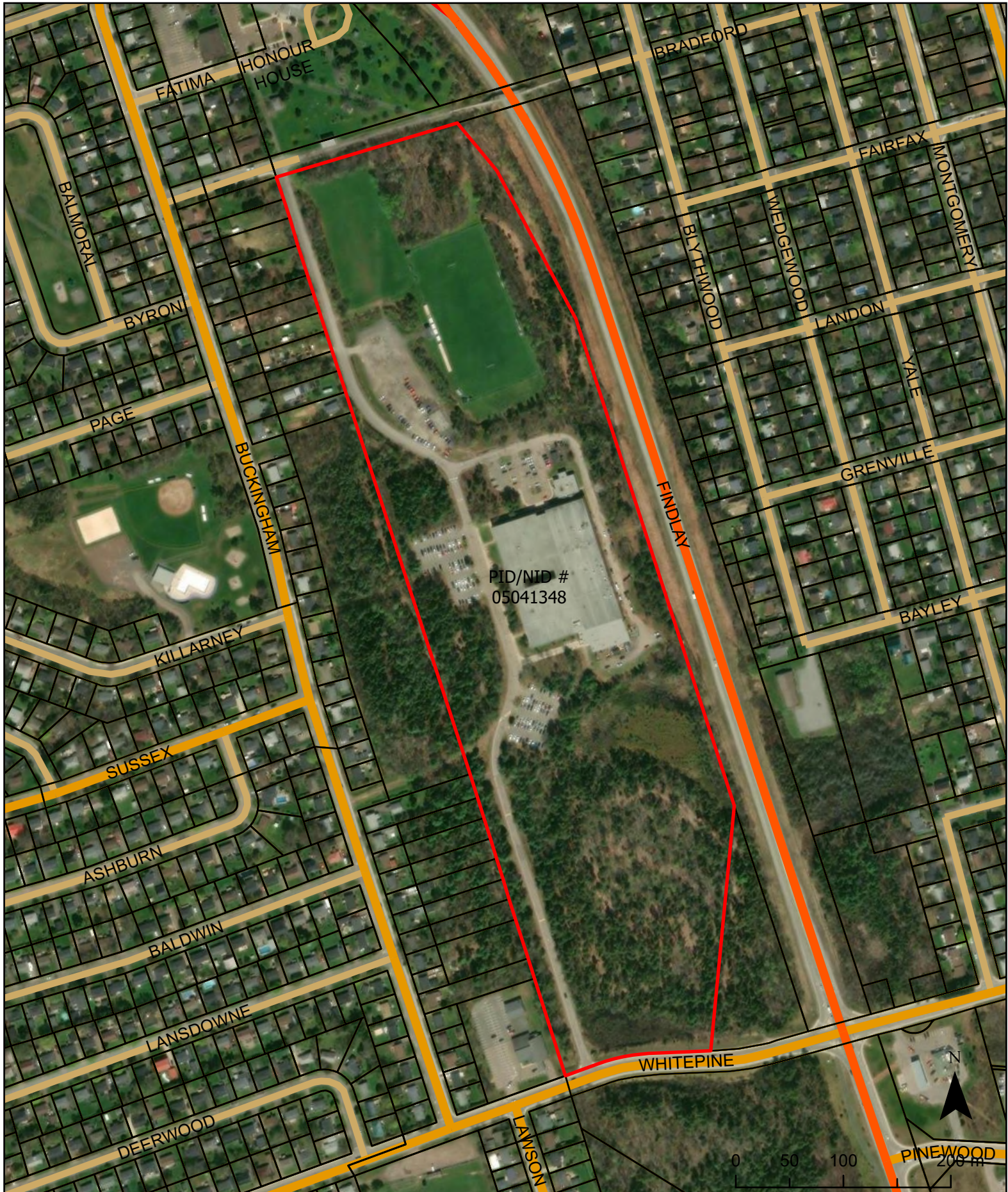
Staff recommend that the Riverview Planning Advisory Committee APPROVE the proposed conditional use for a portion of a freestanding sign to be an electronic static copy in the PRI zone on the property bearing PID#05041348, also known as 400 Whitepine Road, as it is meeting the Municipal Plan policies, and the impact on the streetscape is anticipated to be minimal in nature, subject to the following conditions:

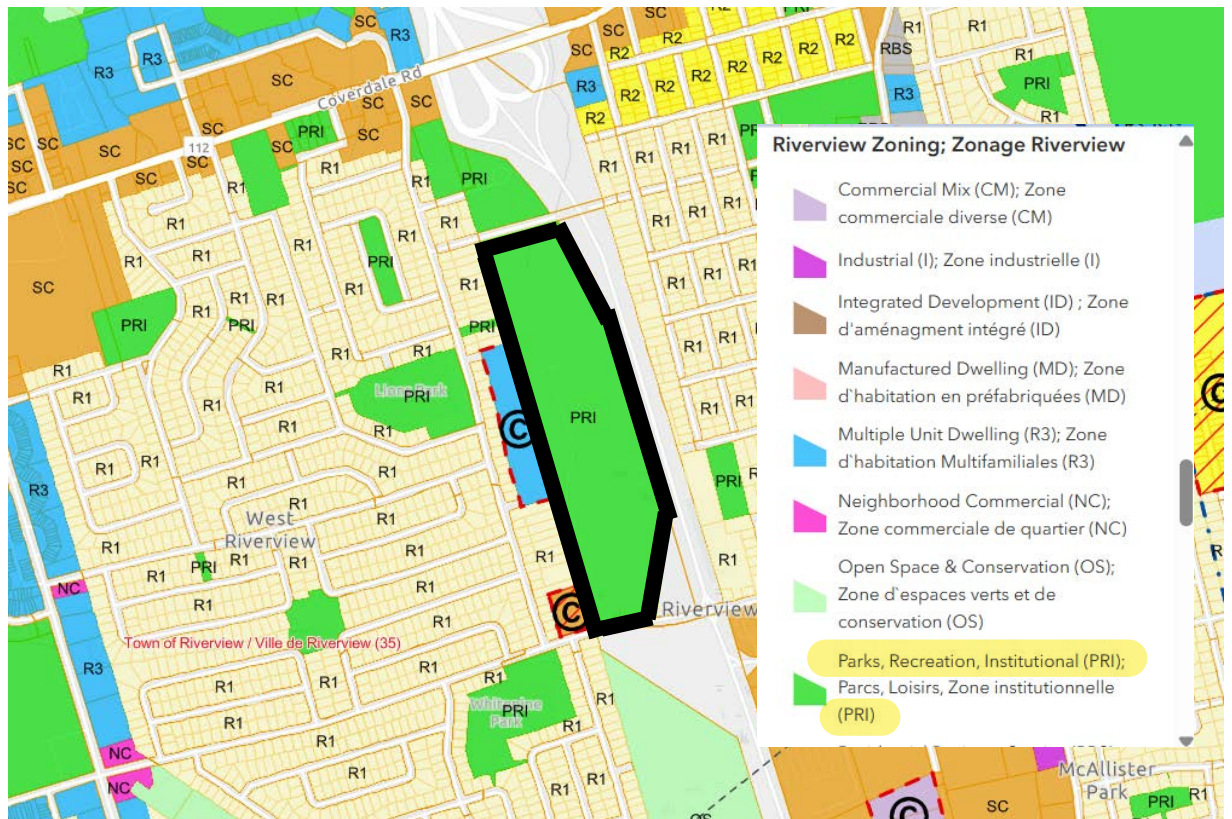
(1) That the project is developed in substantial conformity with the attached site plan and proposed sign plan.

400 Whitepine (PID/NID 05041348)

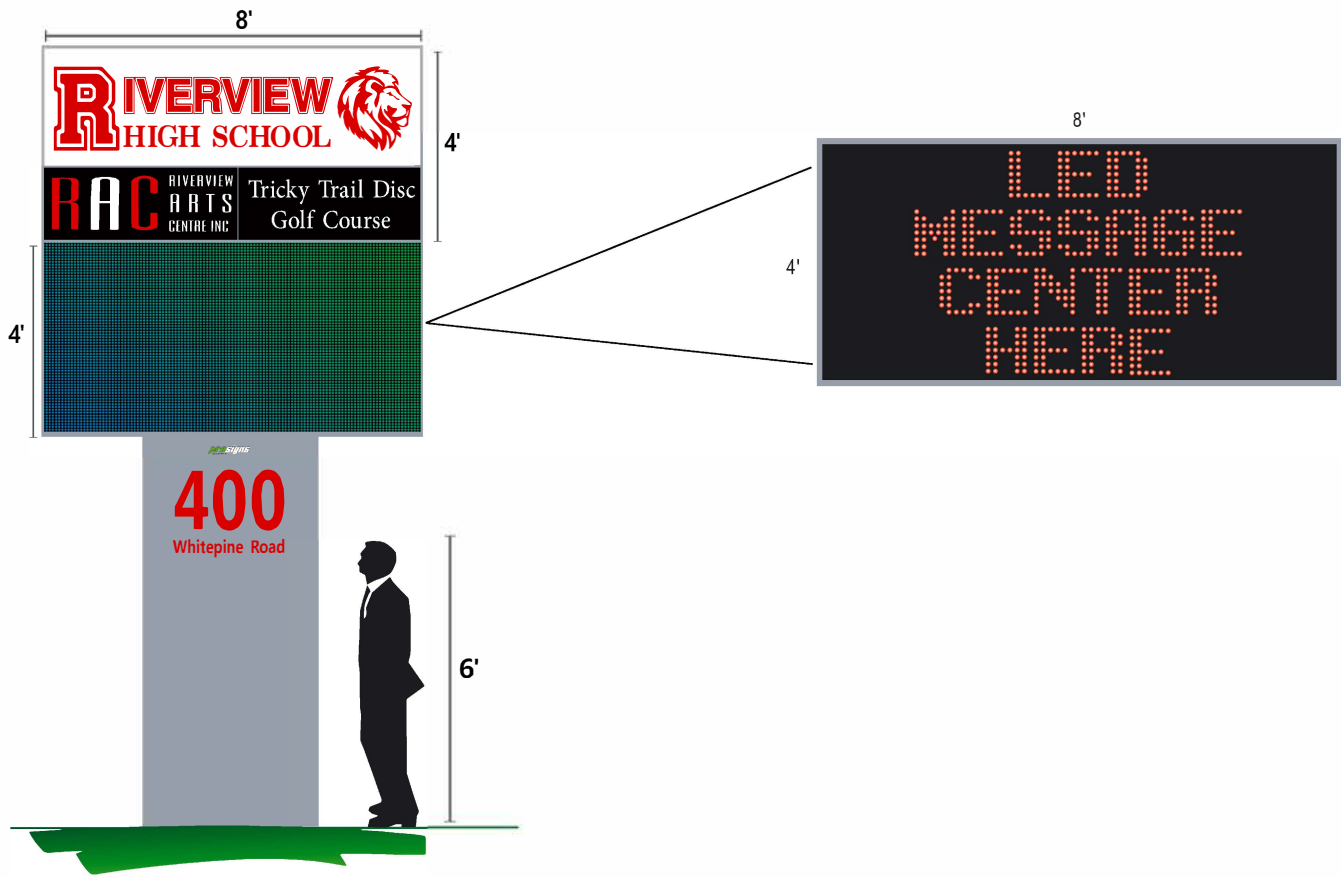
Town of Riverview

Date: 9/15/2025





2- Sided LED Pole Sign & LED Screen • Riverview High School • Riverview



A

Pole Sign with 2-Sided LED Box and LED Screen

For Presentation / Production

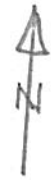


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Sales Rep:

Designer:

Project Manager:



PID: 05041348

RIVERVIEW HIGH SCHOOL
400 WHITEPINE ROAD
RIVERVIEW, NB E1B 4H8

